

Appendix B

Detailed Allocation Stage 2 Harms Assessment

PfE 2021 SITE REFERENCES INSERT

The Greater Manchester Spatial Framework (GMSF) was replaced by the Places for Everyone (PfE) Plan in 2021. This report still forms part of the PfE Plan evidence base, but the allocation policy numbers used in it have subsequently changed. The 2020 GMSF policy numbers (and in some instances the allocation names) were also different to the allocation references used by LUC in their original assessments. The table below sets out a comparison between the LUC Allocation references and names, the 2020 GMSF policy numbers and names, and the 2021 PfE policy numbers. The following map shows the allocation locations with their PfE Plan policy numbers.









| District | LUC Allocation Ref | LUC Allocation Name | GMSF 2020 policy number | 2020 GMSF / 2021 PfE Allocation Name | 2021 PfE policy number |
|----------------|--------------------|-------------------------------------|-------------------------|--|------------------------|
| Cross Boundary | GM1.1 | Northern Gateway: Heywood/Pilsworth | GMA1.1 | Heywood / Pilsworth (Northern Gateway) | JPA1.1 |
| Cross Boundary | GM1.2 | Northern Gateway: Simister/Bowlee | GMA1.2 | Simister and Bowlee (Northern Gateway) | JPA1.2 |
| Bury | GM1.3 | Northern Gateway: Whitefield | Deleted | N/A | N/A |
| Cross Boundary | GM2 | Stakehill | GMA2 | Stakehill | JPA2 |
| Cross Boundary | GM3 | Kingsway South | Deleted | N/A | N/A |
| Manchester | GM11 | Roundthorn MediPark Extension | GMA3.1 | Medipark | JPA3.1 |
| Trafford | GM46 | Timperley Wedge | GMA3.2 | Timperley Wedge | JPA3.2 |
| Bolton | GM4 | Bewshill Farm | GMA4 | Bewshill Farm | JPA4 |
| Bolton | GM5 | Chequerbent North | GMA5 | Chequerbent North | JPA5 |
| Bolton | GM6 | West of Wingates / M61 Junction 6 | GMA6 | West of Wingates / M61 Junction 6 | JPA6 |
| Bury | GM7 | Elton Reservoir | GMA7 | Elton Reservoir | JPA7 |
| Bury | GM8 | Seedfield | GMA8 | Seedfield | JPA8 |
| Bury | GM9 | Walshaw | GMA9 | Walshaw | JPA9 |

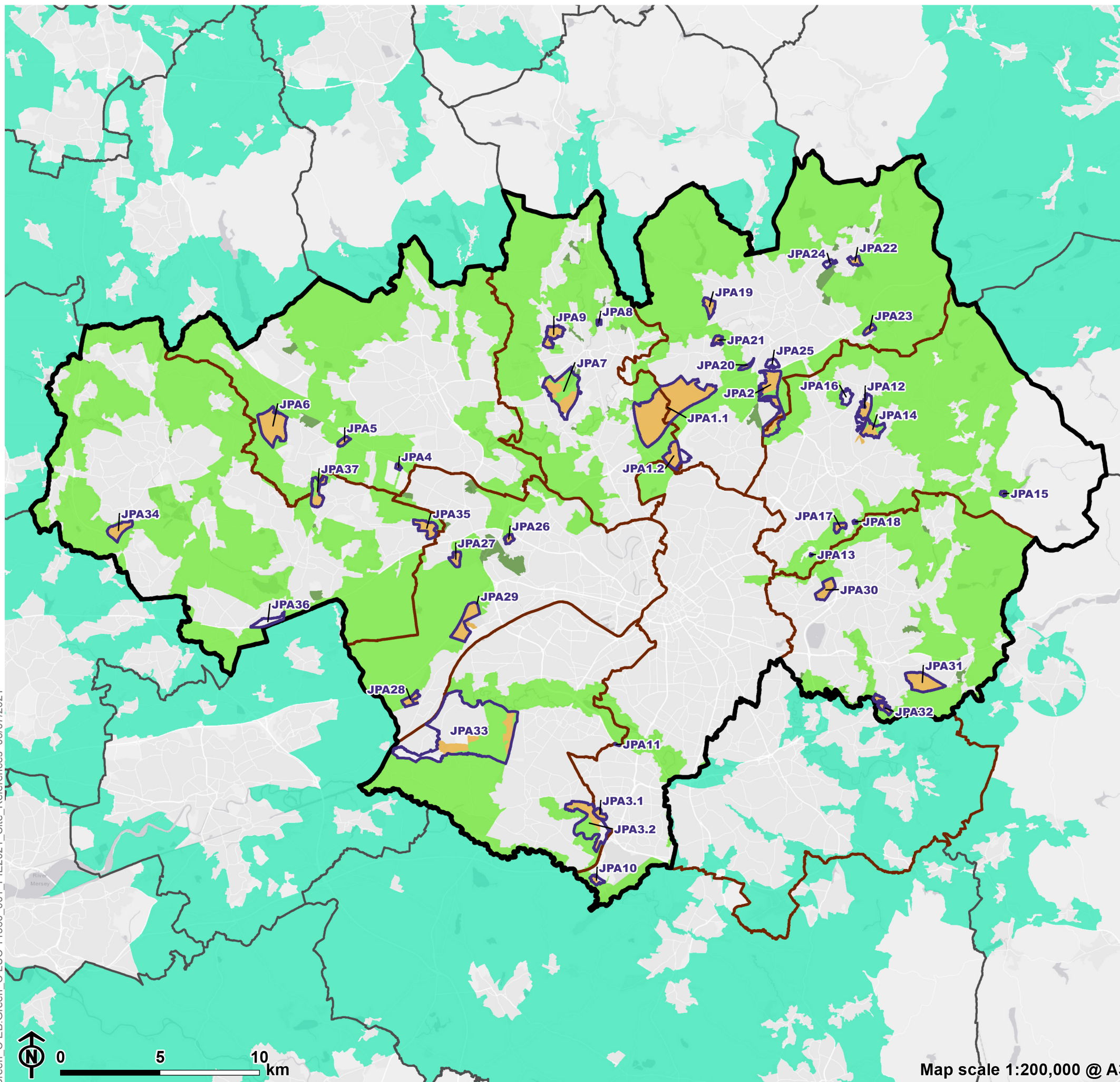
| District | LUC Allocation Ref | LUC Allocation Name | GMSF 2020 policy number | 2020 GMSF / 2021 PfE Allocation Name | 2021 PfE policy number |
|------------|--------------------|------------------------------|-------------------------|---|------------------------|
| Manchester | GM10 | Global Logistics | GMA10 | Global Logistics | JPA10 |
| Manchester | GM12 | Southwick Park | GMA11 | Southwick Park | JPA11 |
| Oldham | GM14 | Beal Valley | GMA12 | Beal Valley | JPA12 |
| Oldham | GM22 | Woodhouses | GMA13 | Bottom Field Farm (Woodhouses) | JPA13 |
| Oldham | GM15 | Broadbent Moss | GMA14 | Broadbent Moss | JPA14 |
| Oldham | GM18 | Robert Fletchers | GMA15 | Chew Brook Vale (Robert Fletchers) | JPA15 |
| Oldham | GM16 | Cowlshaw | GMA16 | Cowlshaw | JPA16 |
| Oldham | GM17 | Hanging Chadder | GMA17 | Hanging Chadder | Deleted |
| Oldham | GM13 | Ashton Road Corridor | GMA18 | Land south of Coal Pit Lane (Ashton Road) | JPA17 |
| Oldham | GM19 | South of Rosary Road | GMA19 | South of Rosary Road | JPA18 |
| Oldham | GM20 | Spinners Way / Alderney Farm | Deleted | N/A | N/A |
| Oldham | GM21 | Thornham Old Road | Deleted | N/A | N/A |
| Rochdale | GM23 | Bamford / Norden | GMA20 | Bamford / Norden | JPA19 |
| Rochdale | GM24 | Castleton Sidings | GMA21 | Castleton Sidings | JPA20 |
| Rochdale | GM25 | Crimble Mill | GMA22 | Crimble Mill | JPA21 |
| Rochdale | GM26 | Land north of Smithy Bridge | GMA23 | Land north of Smithy Bridge | JPA22 |
| Rochdale | GM27 | Newhey Quarry | GMA24 | Newhey Quarry | JPA23 |
| Rochdale | GM28 | Roch Valley | GMA25 | Roch Valley | JPA24 |
| Rochdale | GM29 | Trows Farm | GMA26 | Trows Farm | JPA25 |
| Salford | GM30 | Land at Hazelhurst Farm | GMA27 | Land at Hazelhurst Farm | JPA26 |
| Salford | GM31 | East of Boothstown | GMA28 | East of Boothstown | JPA27 |

| District | LUC Allocation Ref | LUC Allocation Name | GMSF 2020 policy number | 2020 GMSF / 2021 PfE Allocation Name | 2021 PfE policy number |
|-----------|--------------------|-------------------------------|-------------------------|--------------------------------------|------------------------|
| Salford | GM32 | North of Irlam Station | GMA29 | North of Irlam Station | JPA28 |
| Salford | GM33 | Port Salford Extension | GMA30 | Port Salford Extension | JPA29 |
| Stockport | GM34 | Bredbury Park Extension | GMA31 | Bredbury Park Extension | Deleted |
| Stockport | GM35 | Former Offerton High School | GMA32 | Former Offerton High School | Deleted |
| Stockport | GM36 | Gravel Bank Road / Unity Mill | Deleted | N/A | Deleted |
| Stockport | GM37 | Heald Green | GMA33 | Heald Green 1 (West) | Deleted |
| Stockport | GM40 | Griffin Farm, Stanley Green | GMA34 | Heald Green 2 | Deleted |
| Stockport | GM38 | High Lane | GMA35 | High Lane | Deleted |
| Stockport | GM39 | Hyde Bank Meadows | GMA36 | Hyde Bank Meadows | Deleted |
| Stockport | GM41 | Woodford Aerodrome | GMA37 | Woodford Aerodrome | Deleted |
| Tameside | GM42 | Ashton Moss West | GMA38 | Ashton Moss West | JPA30 |
| Tameside | GM43 | Godley Green Garden Village | GMA39 | Godley Green Garden Village | JPA31 |
| Tameside | GM44 | South of Hyde | GMA40 | South of Hyde | JPA32 |
| Trafford | GM45 | New Carrington | GMA41 | New Carrington | JPA33 |
| Wigan | GM47 | Land South of Pennington | Deleted | N/A | N/A |
| Wigan | GM48 | M6, Junction 25 | GMA42 | M6 Junction 25 | JPA34 |
| Wigan | GM49 | North of Mosley Common | GMA43 | North of Mosley Common | JPA35 |
| Wigan | GM50 | Pocket Nook | GMA44 | Pocket Nook | JPA36 |

| District | LUC Allocation Ref | LUC Allocation Name | GMSF 2020 policy number | 2020 GMSF / 2021 PfE Allocation Name | 2021 PfE policy number |
|----------|--------------------|---------------------|-------------------------|--------------------------------------|------------------------|
| Wigan | GM51 | West of Gibfield | GMA45 | West of Gibfield | JPA37 |

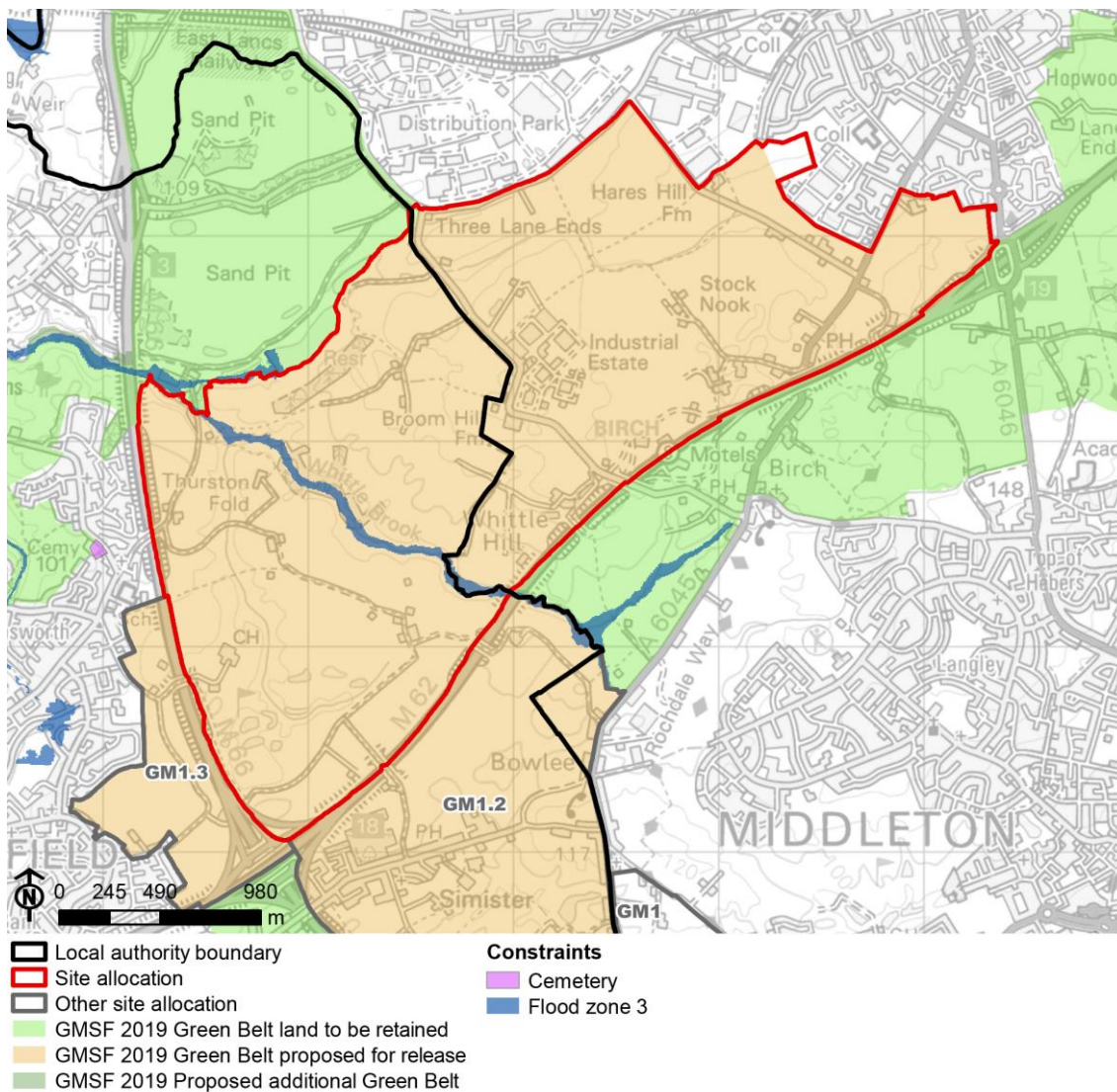
PfE 2021 Site References

-  Places for Everyone Plan boundary
-  Greater Manchester Local Authority boundary
-  Other Local Authority boundary
-  Site allocation
-  PfE 2021 Green Belt proposed for release
-  PfE 2021 Green Belt land to be retained
-  PfE 2021 Proposed additional Green Belt
-  Green Belt outside PfE boundary



Map scale 1:200,000 @ A3

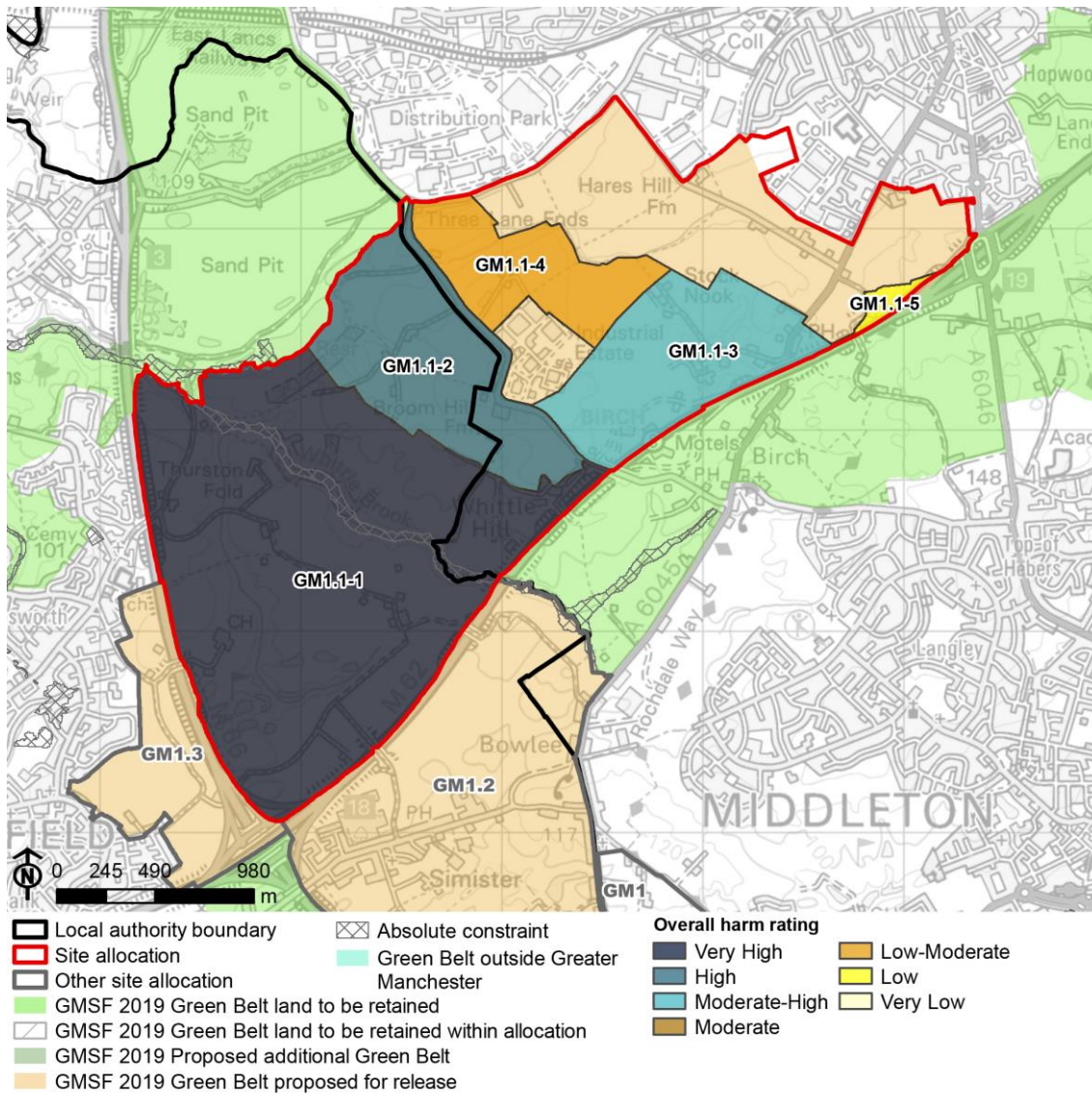
GM1.1 - Heywood/Pilsworth



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GM Allocation 1, the Northern Gateway, is split into three sub-Allocations. GM1.1 Heywood/Pilsworth comprises a large expanse of farmland lying in the gap between Middleton, Whitefield, Bury and Heywood, straddling the Metropolitan Boroughs of Bury and Rochdale.

GM1.1



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GM1.1

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Very High | 294.7 |
| High | 83.7 |
| Moderate-High | 72.5 |
| Low-Moderate | 46.3 |
| Low | 3.9 |
| Very Low | 135.2 |
| Total Allocation area | 640.4 |

GM1.1 is split into five sub-areas to reflect variations in harm to the Green Belt purposes.

The existing Birch Industrial Park and committed Junction 19 development are/will be wholly developed and therefore make no contribution to Green Belt purposes. As such, they can be released from the Green Belt with very low harm.

The remainder of the Allocation largely comprises of open farmland and a golf course. Land in the east is more contained by and has less distinction from the urban edge, whilst land in the west has less urbanising containment and greater distinction from the urban edge. As such, land in the west makes a significant contribution to checking sprawl of Greater Manchester and preventing encroachment on the countryside and the merger of towns, whilst land in the east makes a lesser contribution.

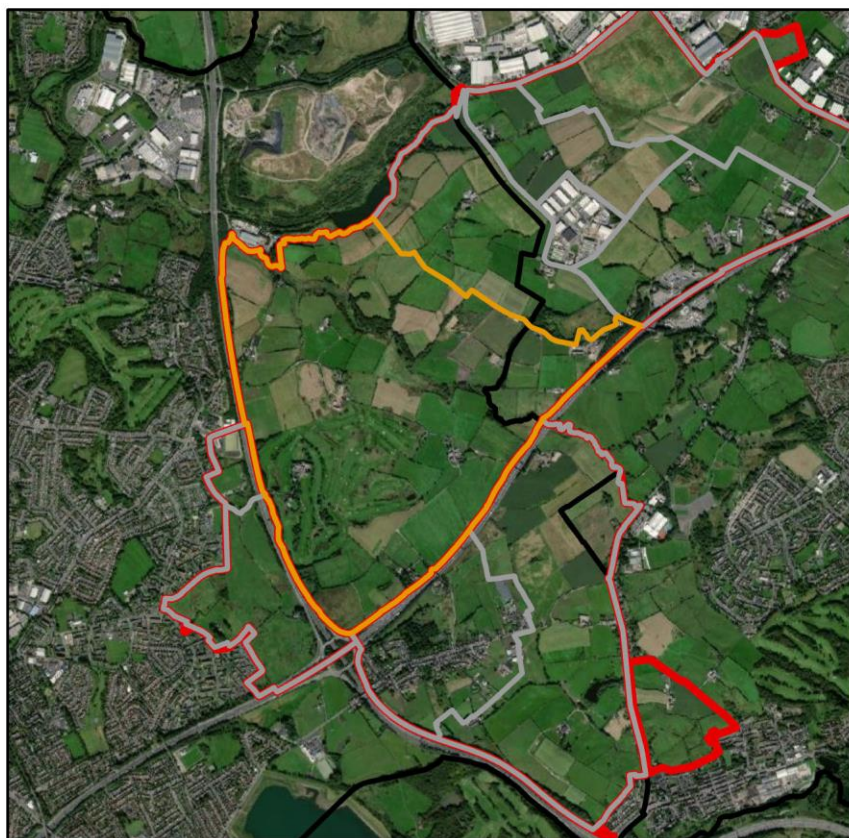
Release of land in the Allocation would contribute to the containment of surrounding retained Green Belt land and would impact the connectivity of the Green Belt. In addition, release of land in the west of the Allocation would negate the role of the M66 as a boundary to sprawl. Overall there would be very high harm to the Green Belt purposes associated with the weakening of settlement gaps, and release of the Allocation in conjunction with release of the adjoining Allocations GM1.2 and GM1.3 would entirely remove Green Belt separation between Whitefield, Heywood and Middleton.

GM1.1

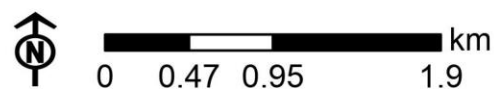
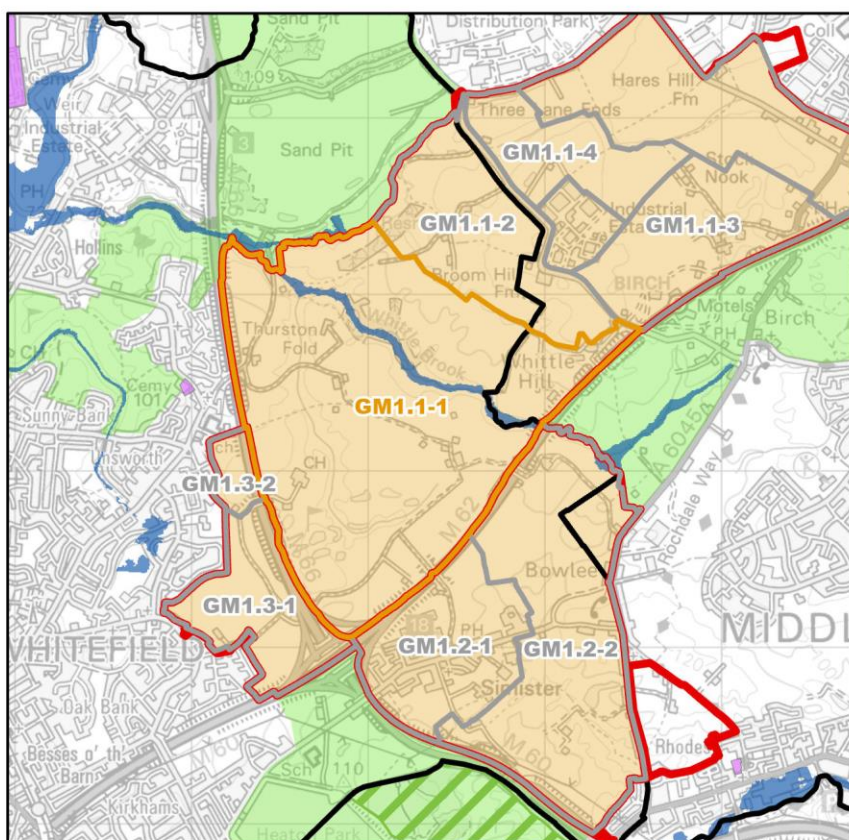
Potential to mitigate harm

The strengthening of the northern boundary of the Allocation, for example by additional woodland planting, could potentially increase the future distinction between the inset edge and retained Green Belt land. This could therefore help to limit the harm from the weakening of the Green Belt boundary caused by the breach of the M66 motorway corridor to the west, and could help to limit the perception of containment of retained Green Belt land to the north.

GM1.1-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Registered parks and gardens
- Cemetery
- Flood zone 3



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GM1.1-1

Area Description

Gently undulating expanse of farmland and the grounds of Pike Fold Golf Course, bound by the M66, M62, a brook and field boundaries, and forming a significant part of the gap between Heywood and Whitefield. The sub-area contains no significant urbanising development to diminish openness and, while it is contained by surrounding settlement edges on all sides, the size of the area is such that development within it would be perceived as sprawl. The M62 and M66 motorways provide strong distinction from the urban edge and adjoining sub-areas to the west and south, whilst field boundaries to the east provide minimal distinction from adjoining sub-areas to the northeast. Brightley Brook (and its associated reservoir) provide some limited distinction from adjacent retained Green Belt land to the north and the M62 to the south provides strong distinction between the sub-area and retained Green Belt land to the east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Heywood is part of the large built-up area of Greater Manchester and the sub-area's openness and distinction from urbanising uses to the west contribute to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Significant

Releasing this land would significantly reduce the gap between the towns of Whitefield and Heywood, which are currently distinct. It would also significantly narrow the gap between Whitefield and Middleton.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

This sub-area is open and distinct from urbanising uses in adjacent settlements, and as such its release would encroach on land which is perceived as countryside.

GM1.1-1

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM1.1-1

Impact on adjacent Green Belt

Rating: Major

Release of the sub-area, as part of the release of the Allocation as a whole, would increase the containment of adjacent retained Green Belt land to the north and east. In addition, it would contribute to the containment of retained Green Belt land to the south and would have a significant impact on its connectivity with the wider Green Belt. The release would also breach the boundary to sprawl provided to the west by the M66, resulting in a weaker distinction between the inset settlement of Whitefield and retained Green Belt land to the north.

Overall harm to Green Belt purposes from release of land

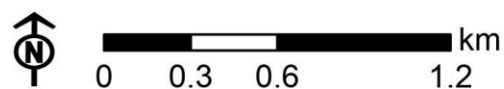
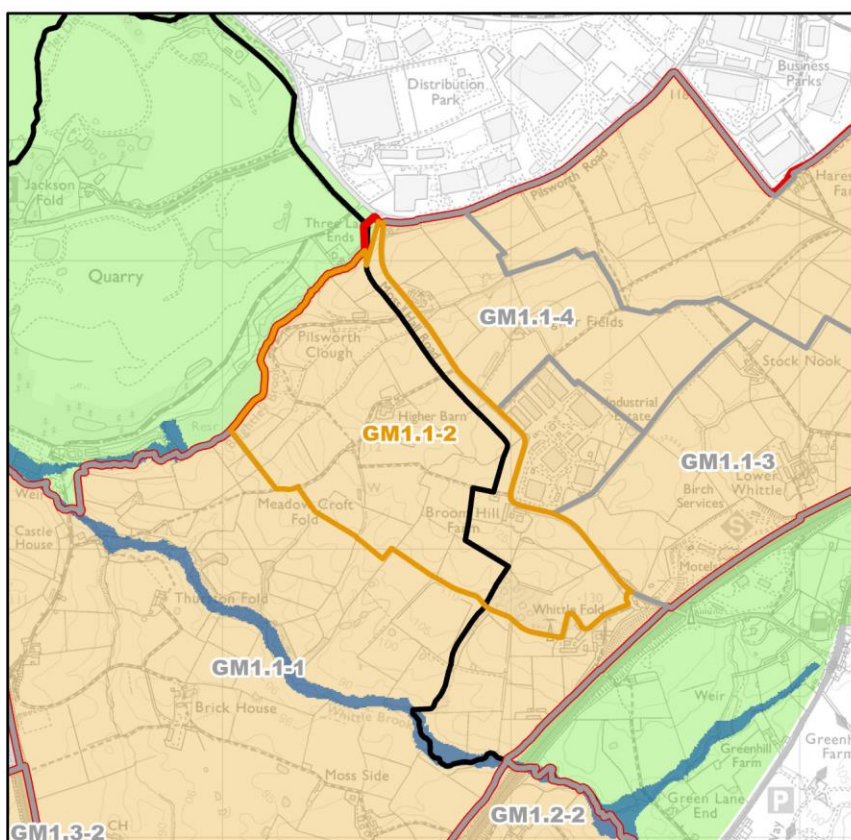
Very High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, and would have a significant impact on preventing the merger of towns. It would also constitute a major weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as very high. It is noted that the boundary between this sub-area and sub-area GM1.1-2 is not specific and there is a gradual increase in impact on retained Green Belt land when moving across GM1.1-2 into GM1.1-1, resulting in a gradual increase in harm of release.

GM1.1-2



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM1.1-2

Area Description

Undulating open farmland with clusters of agricultural buildings, lying between the settlements of Whitefield and Heywood, but not directly adjacent to either. The sub-area lies mostly within the Metropolitan District of Bury, with a smaller part lying within Rochdale. The sub-area is open and free of urbanising development and is not significantly contained by the surrounding urban edges, despite the presence of the washed over Birch Industrial Estate on its eastern boundary. Moss Hall Road/Whittle Lane provide some limited distinction from the adjacent sub-area and urbanising uses further to the east. Field boundaries create limited distinction from the sub-area to the west. The M62 provides separation from retained Green Belt land to the southeast, whilst Brightley Brook (and its associated reservoir) provide some limited distinction from adjacent retained Green Belt land to the north.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Heywood is part of the large built-up area of Greater Manchester and, while this sub-area is not directly adjacent to the urban edge, the land's openness and lack of significant containment mean it plays a significant role in preventing sprawl outwards from the urban edge.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would reduce the gap between the towns of Whitefield and Heywood, which are currently distinct. It would also narrow the gap between Whitefield and Middleton.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

This sub-area is open and uncontained, and as such its release would encroach on land which is perceived as countryside.

GM1.1-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM1.1-2

Impact on adjacent Green Belt

Rating: Moderate

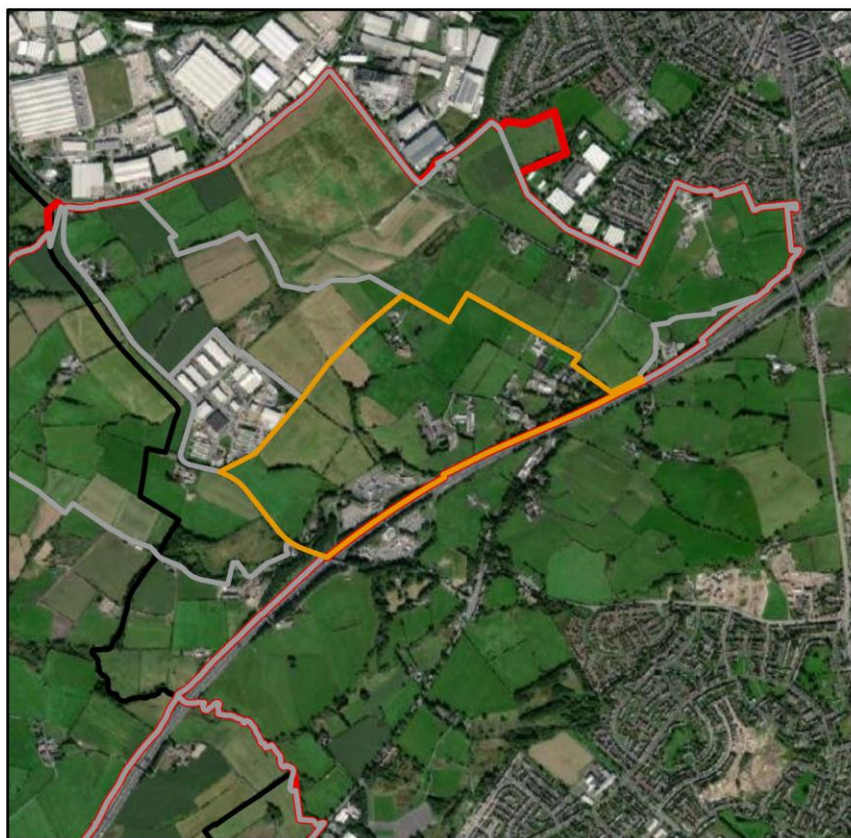
Releasing this sub-area, as part of the release of the Allocation as a whole, would increase the containment of adjacent retained Green Belt land to the north and would contribute to the lessening of wider Green Belt connectivity. The release would also result in development breaching Moss Hall Road, which bounds the inset edge to the northeast, resulting in a weaker boundary between inset settlement and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

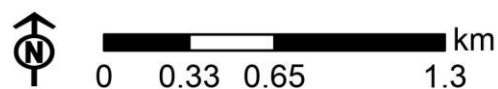
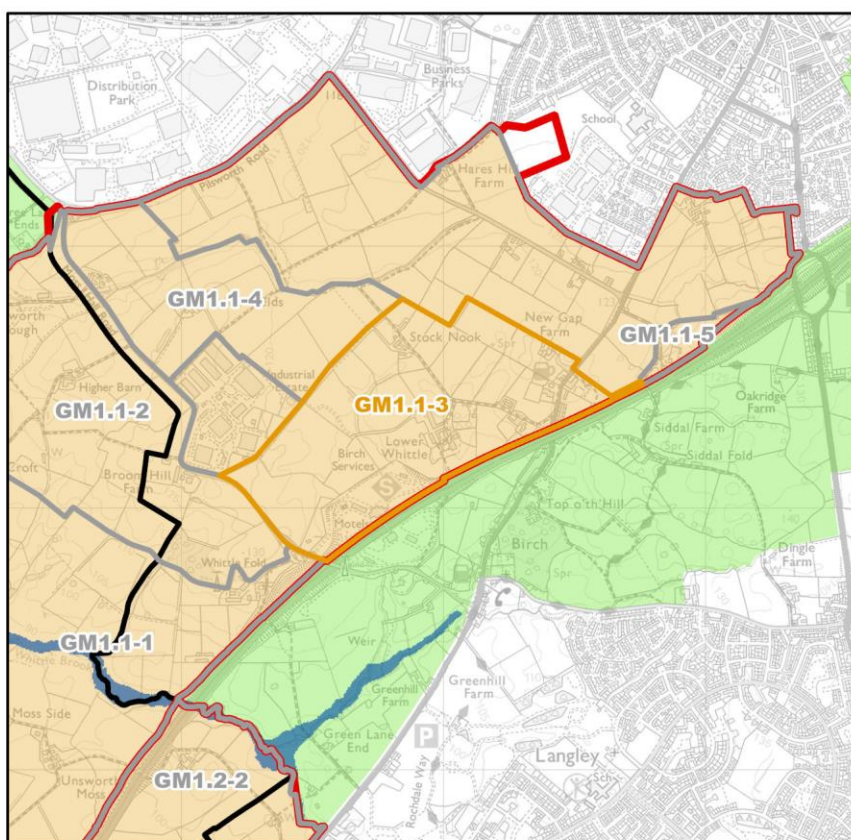
High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, and would have a relatively significant impact on preventing the merger of towns. It would also constitute a moderate weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as high. It is noted that the boundary between this sub-area and sub-area GM1.1-1 is not specific and there is a gradual increase in impact on retained Green Belt land when moving across GM1.1-2 into GM1.1-1, resulting in a gradual increase in harm of release.

GM1.1-3



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM1.1-3

Area Description

Gently undulating farmland and scattered farmsteads located between Heywood and Middleton to the east of the Birch Industrial Estate, which is washed over by the Green Belt. There are some further scattered industrial and commercial uses in the south of the sub-area lying along the M62 corridor, including a motorway service station. Despite these uses, the sub-area overall contains limited urbanising development, retaining sufficient open space for there to be a relationship with adjacent open land. The sub-area is considerably contained by existing urban development, including the industrial estate and the emerging Junction 19 development (based on the proposal details available online). However, the size of the area is such that development within it would be perceived as sprawl. Field boundaries provide limited separation from the industrial estate to the west and the emerging Junction 19 development to the east, as well as from the adjoining sub-area to the north, whilst Whittle Lane provides some limited separation from the adjacent sub-areas to the west. The M62 motorway provides strong distinction between the sub-area and retained Green Belt land to the south.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Heywood is part of the large built-up area of Greater Manchester and the sub-area retains some openness and benefits from some distinction from the urban edge. However, the urbanising influences within the sub-area and its lack of distinction from the urban edge limit to a degree the extent to which development would constitute unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would act to reduce the gap between the towns of Heywood and Middleton, which is relatively narrow, but where the M62 would remain as a significant separating feature. It would have a less significant impact on the gap between Heywood and Whitefield, because the urban edge would not extend further westward than the extent of the Heywood Business Park to the north.

GM1.1-3

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

This release would encroach on land which contains some industrial uses associated with the proximity of the urban area and which has a lack of distinction from the urban edge, but which is in large parts open in character and retains a relatively strong relationship with adjacent open countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM1.1-3

Impact on adjacent Green Belt

Rating: Minor

Releasing this sub-area, as part of the release of the Allocation as a whole, would further increase the containment of retained Green Belt land to the south and would contribute towards the reduction in the connectivity of the surrounding wider Green Belt. The release would however result in a slightly stronger Green Belt boundary, defined by Whittle Lane to the west and by the M62 motorway to the south.

Overall harm to Green Belt purposes from release of land

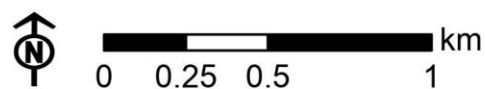
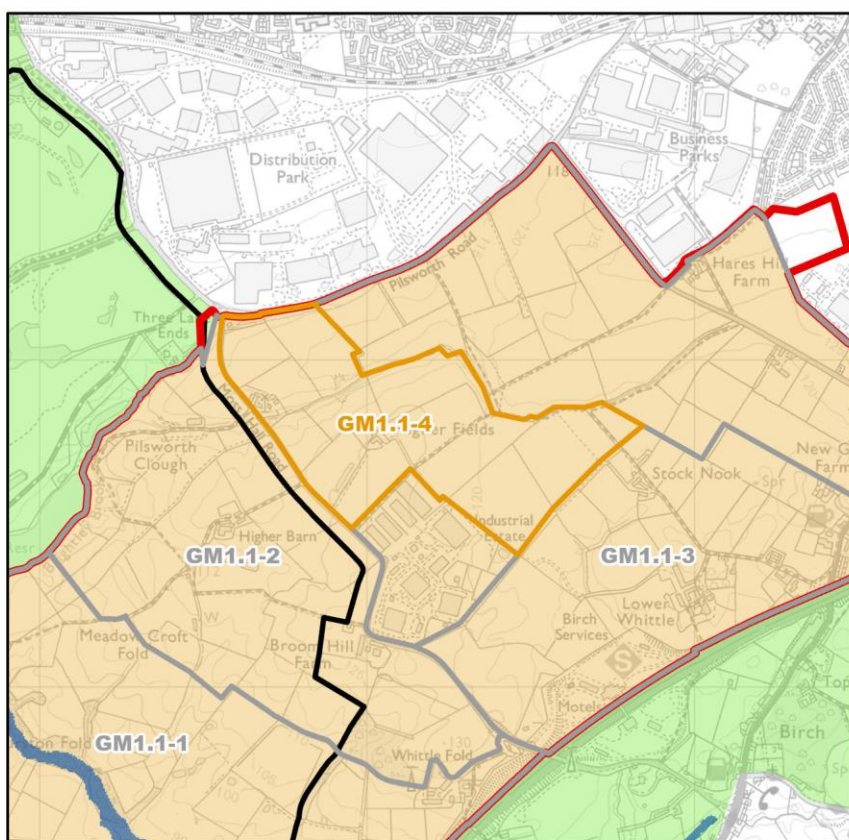
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl, moderate encroachment on the countryside and a moderate impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM1.1-4



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM1.1-4

Area Description

Gently undulating farmland and scattered farmsteads located on the southern edge of Heywood adjoining the Birch Industrial Estate, which is washed over by the Green Belt. The sub-area is open however the surrounding inset edge, industrial estate and the emerging Junction 19 development (based on the proposal details available online) to the northeast create a degree of urbanising containment within the sub-area. Pilsworth Road marks the edge of the sub-area with the adjoining inset edge to the north, which provides some limited distinction between the two, however the field boundaries adjoining the industrial estate and the emerging Junction 19 development provide limited distinction from these urbanising developments. Field boundaries also define the edge of the sub-area with the adjoining sub-area to the southeast, whilst Moss Hall Road defines the edge with the sub-area to the west.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Heywood is part of the large built-up area of Greater Manchester and the sub-area is open. As such, development within this area would constitute sprawl. However, the lack of distinction from and urbanising containment by surrounding development limits the role of this land in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

Releasing this land would act to reduce the gap between the towns of Heywood and Middleton, which is relatively narrow. However, the M62 would remain as a significant separating feature and the lack of distinction from and urbanising containment by surrounding development limits the role of this land in maintaining separation. It would have a less significant impact on the gap between Heywood and Whitefield, because the urban edge would not extend further westward than the extent of the Heywood Business Park to the north.

GM1.1-4

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

This release would encroach on land which is open and perceived as countryside, however the lack of distinction from and urbanising containment by surrounding development limits the extent to which this land prevents encroachment of the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM1.1-4

Impact on adjacent Green Belt

Rating: No/Negligible

Due to the extent of its own containment, release of the sub-area, as part of the release of the Allocation as a whole, would not result in the increased containment of any retained Green Belt Land. In addition, release would have no bearing on the strength of retained Green Belt land, as intervening roads and field boundaries create distinction between the sub-area and those parts of the Allocation area that adjoin the retained Green Belt.

Overall harm to Green Belt purposes from release of land

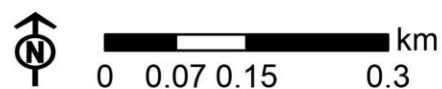
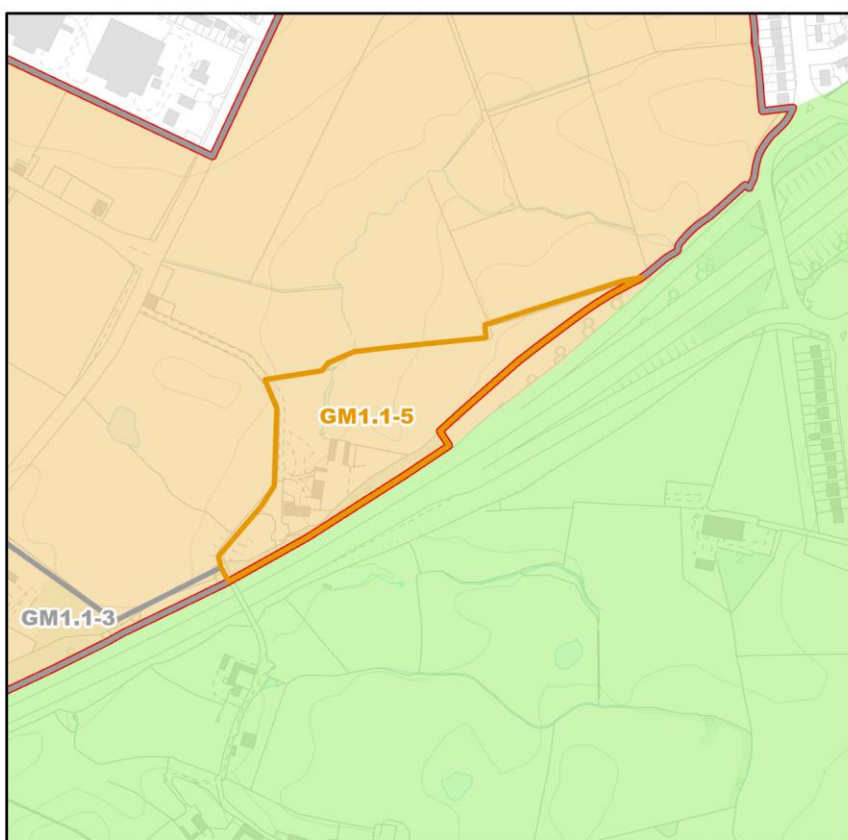
Low-Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as low-moderate.

GM1.1-5



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt



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GM1.1-5

Area Description

Fields and a farmstead, located on the northern edge of the M62 motorway to the south of Haywood. The uses within the sub-area do not constitute significant urbanising development and do not diminish openness. However, the surrounding emerging Junction 19 development (based on the proposal details available online), creates a significant degree of urbanising containment within the sub-area. Field boundaries and a lane provide limited distinction from this urbanising development, however the M62 motorway provides strong distinction between the sub-area and retained Green Belt land to the south.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

Heywood is part of the large built-up area of Greater Manchester, however the sense of containment of land within the sub-area and the lack of distinction along the urban edge limit the extent to which development would constitute unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

Releasing this land would reduce the gap between the towns of Heywood and Middleton, which is relatively narrow, but the M62 would remain as a significant separating feature. The sense of containment within the sub-area also limits the perception of merging of towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

This release would encroach on land which is open and perceived as countryside. However, the sense of containment of land within the sub-area and the lack of distinction along the urban edge limit the extent to which the land prevents encroachment of the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM1.1-5

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM1.1-5

Impact on adjacent Green Belt

Rating: No/Negligible

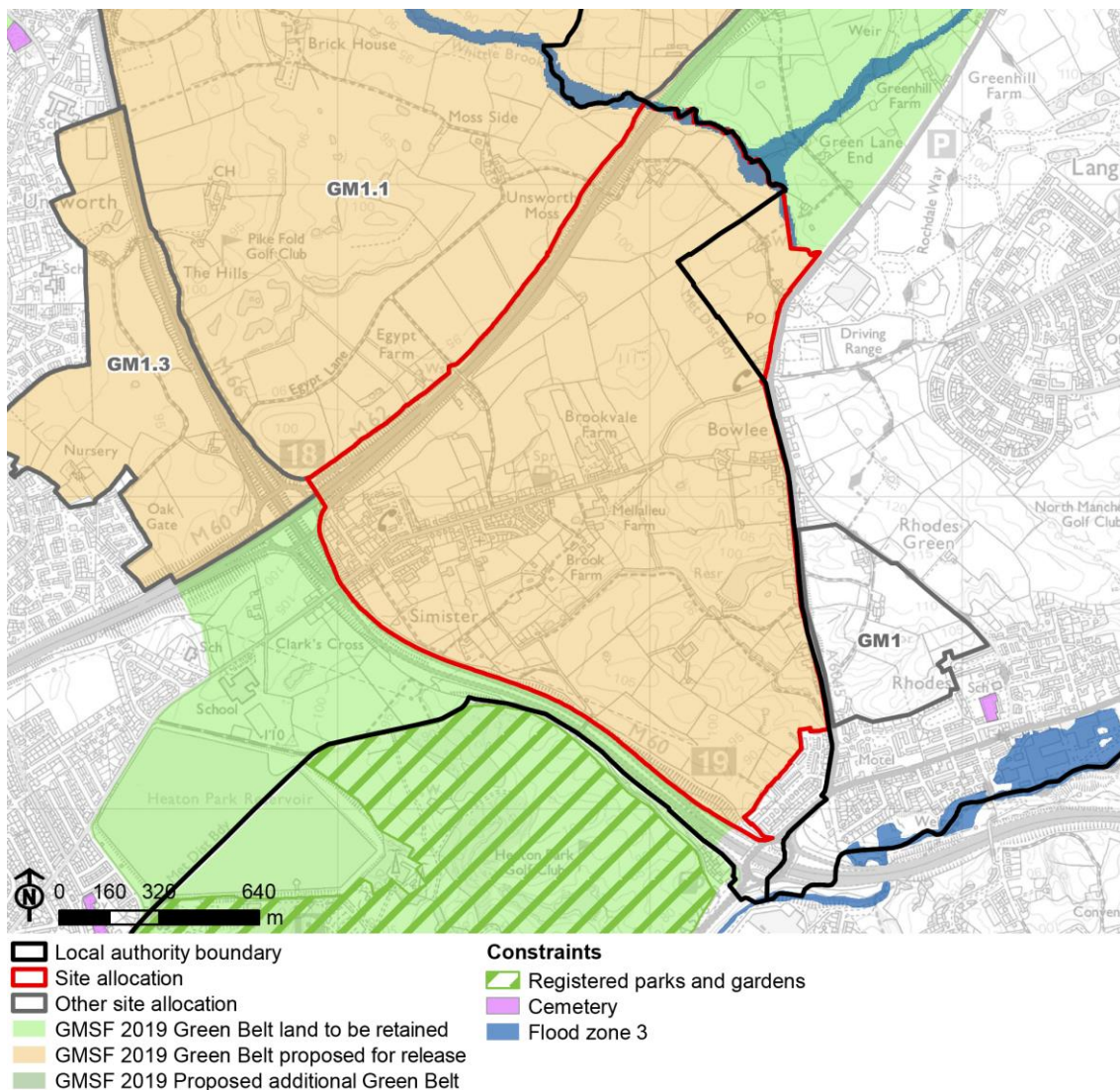
Due to the extent of its own containment by the emerging Junction 19 development (based on the proposal details available online) and the adjoining motorway corridor, the release of the sub-area, as part of the release of the Allocation as a whole, would not result in the increased containment of any retained Green Belt land and would result in a strong Green Belt boundary defined along the M62 motorway.

Overall harm to Green Belt purposes from release of land

Low

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively limited sprawl and encroachment on the countryside, and would have a relatively limited impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as low.

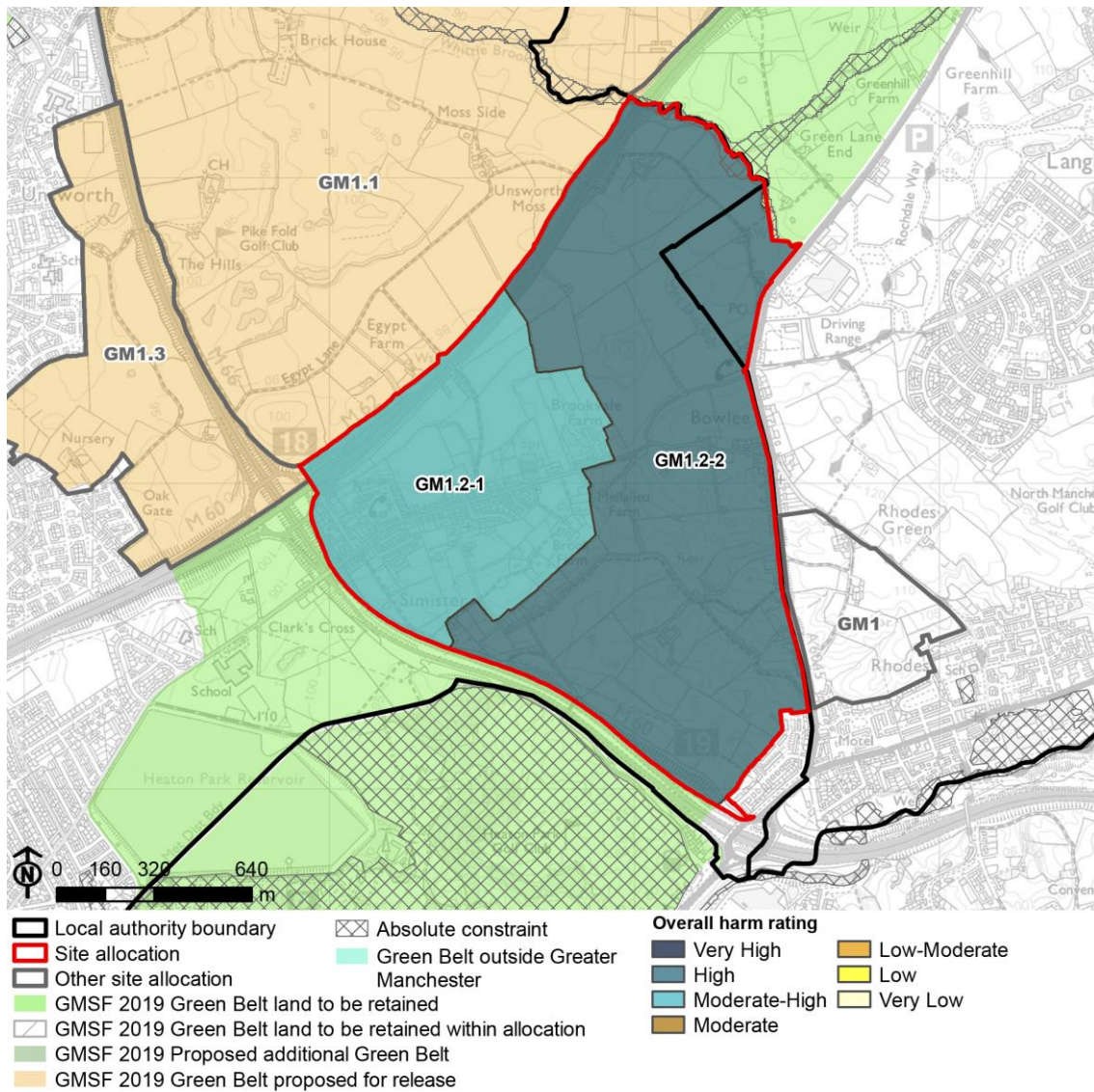
GM1.2 - Simister/Bowlee



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GM Allocation 1, the Northern Gateway, is split into three sub-Allocations. GM1.2 Simister/Bowlee comprises farmland and the washed-over village of Simister, to the west of the Middleton suburbs of Langley and Rhodes, contained by the M60 and M62 and straddling the Metropolitan Boroughs of Bury and Rochdale.

GM1.2



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GM1.2

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| High | 148.3 |
| Moderate-High | 69.1 |
| Total Allocation area | 217.9 |

GM1.2 is split into two sub-areas to reflect variations in harm to the Green Belt purposes.

The land predominantly comprises of open farmland contained by the M66 and M62 motorway corridors, with the village of Simister located in the west. The A6045 provides some distinction from the urban edge of Middleton, and there is sufficient open land between this and the urbanising influence of the washed-over village of Simister to make a significant contribution to checking the sprawl of Greater Manchester and preventing encroachment on the countryside, and a relatively significant contribution to preventing the merger of towns.

As the Allocation is tightly bound by motorway corridors, its release would not result in a weakening of distinction between inset land and retained Green Belt land, creating a more distinct and consistent Green Belt boundary along the M60 motorway corridor to the west. However, release would increase the containment of retained Green Belt land to the east and west, causing high harm to the Green Belt purposes. In conjunction with release of the adjoining Allocations GM1.1 and GM1.3, the settlement gap between Heywood, Rhodes/Middleton and Whitefield would be removed, which would constitute very high harm to the Green Belt purposes.

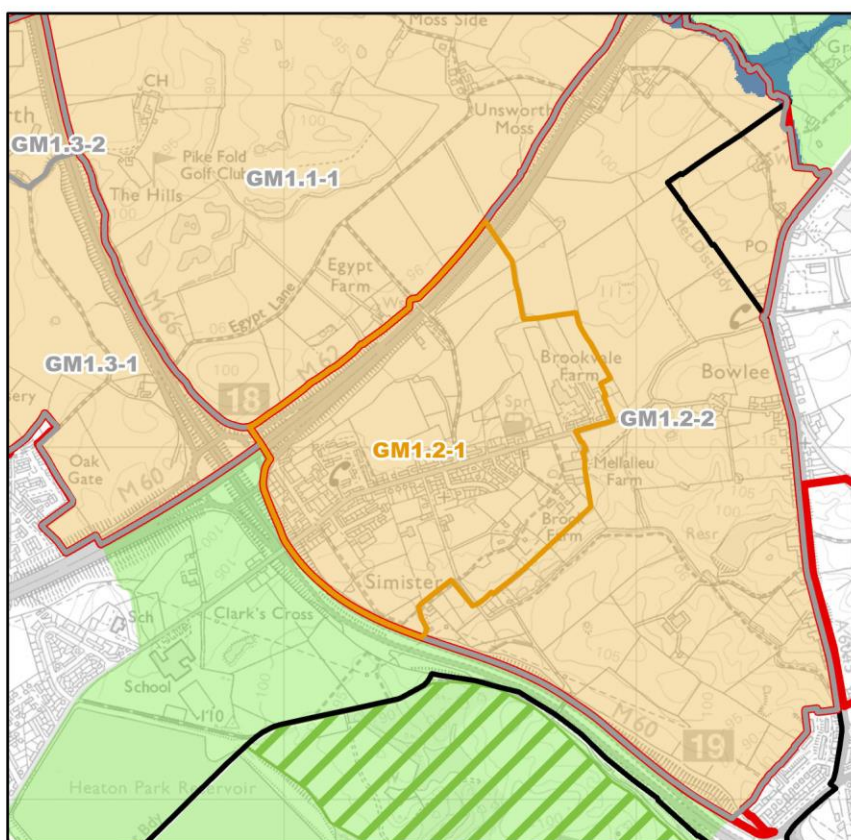
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself and the impact of this on the containment of adjacent retained Green Belt land and the settlement gap between Rhodes/Middleton and Whitefield and Prestwich. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM1.2-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Registered parks and gardens
- Flood zone 3



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GM1.2-1

Area Description

Development within Simister village and surrounding farmland, lying to the west of the Middleton suburbs of Langley and Rhodes and separated from them by a stretch of slightly elevated farmland. To the north and west, the sub-area is contained by the M60 and M62. The sub-area lies wholly within the district of Bury, but close to the border with Rochdale. The washed over village of Simister constitutes a significant urbanising influence, however other parts of the sub-area are open and retain some relationship with adjacent open land. The sub-area is not significantly contained by the surrounding urban edges. As a distinct inset settlement, the M60 and M62 motorway corridors would provide strong distinction with the retained Green Belt land to the west and the wider GM1 Northern Gateway Allocation to the north, however the absence of boundaries to the south and east provide minimal distinction with the adjacent sub-area.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Rhodes and Middleton are part of the large built-up area of Greater Manchester. While the sub-area is not directly adjacent to the edge of the large built-up area, it does play some role in preventing sprawl because, despite the presence of some urbanising influences, the remaining open parts of the sub-area create some openness to the wider countryside.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would create an intervening inset settlement that would act to reduce the gap between Rhodes/Middleton and Whitefield and Prestwich, which is relatively narrow. However the motorway corridors would remain as significant separating features to the north.

GM1.2-1

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

While the development within Simister provides a significant localised urbanising influence, elsewhere the sub-area retains a semi-rural character and is more open in character.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM1.2-1

Impact on adjacent Green Belt

Rating: Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would increase the containment of adjacent retained Green Belt land to the west and would threaten the gap between settlements. The release would however result in a distinct revised Green Belt boundary, defined by the M60 motorway corridor to the west. The release of the sub-area, as part of the release of the Allocation as a whole, would also have a negligible bearing on the strength of retained Green Belt land to the north, as the adjoining motorway corridor and intervening field boundaries create distinction between the sub-area and those parts of the wider Allocation area that adjoin the retained Green Belt.

Overall harm to Green Belt purposes from release of land

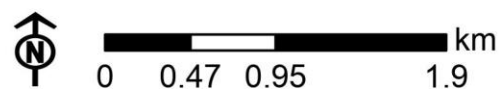
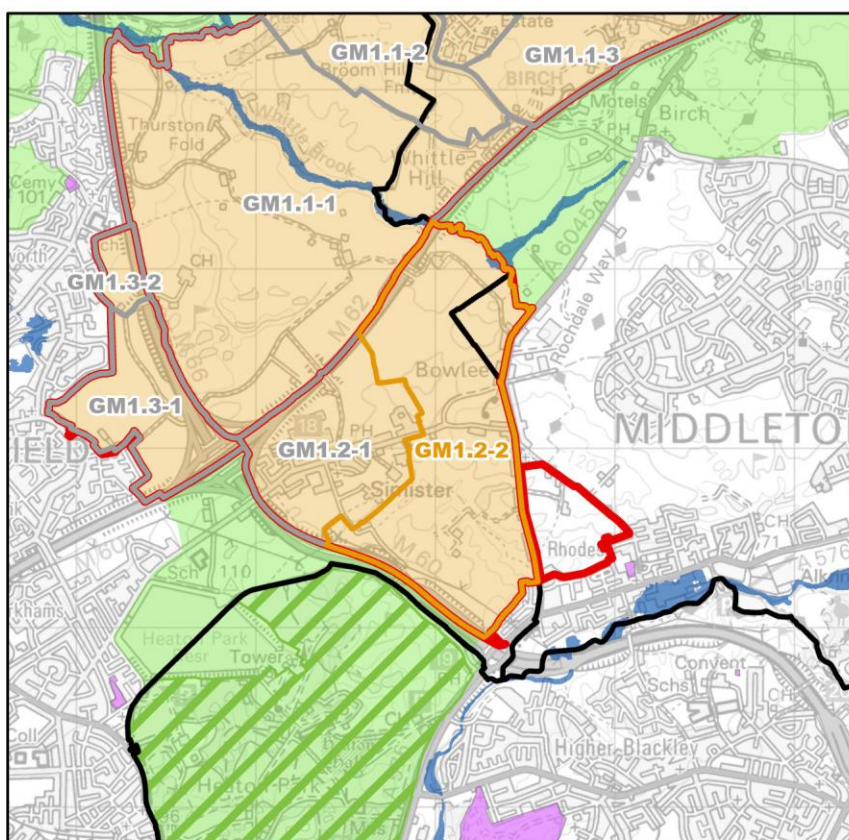
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl, a moderate impact on preventing the merger of towns, and relatively limited encroachment on the countryside. It would also constitute a moderate weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM1.2-2



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Registered parks and gardens
- Cemetery
- Flood zone 3



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GM1.2-2

Area Description

Farmland lying between the Middleton suburbs of Langley and Rhodes and the washed over village of Simister. The sub-area lies mostly in the district of Bury, with a smaller part lying within Rochdale. The sub-area is open countryside, large enough in area not to be significantly contained by the adjacent urban edges. The A6045 Heywood Old Road provides some distinction from the inset edge, however the distinction is limited as the boundary provided by the road has been breached in part by linear housing development. The M62 provides distinction between this sub-area and the wider GM1 Northern Gateway Allocation to the north. The M60 provides distinction from the adjoining retained Green Belt land to the southwest, much of which is designated as the Heaton Park Registered Park and Garden, an absolute constraint to development. Whittle Brook also provides some distinction between the sub-area and the retained Green Belt land to the northeast, however the slightly elevated nature of the landform means the land remains relatively open to surrounding countryside.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Rhodes and Middleton are part of the large built-up area of Greater Manchester and the sub-area's relative openness to the wider countryside, and sense of partial distinction from the urban edge, contribute to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would reduce the gap between Rhodes/Middleton and Whitefield and Prestwich, which is relatively narrow, however the motorway corridors would remain as significant separating features. The release would also cause further perception of merging between Rhodes and Middleton, however the two are already merged to such an extent that this release would not have a significant effect.

GM1.2-2

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

The absence of urbanising development gives this sub-area a semi-rural character and its release would encroach on land which is open in character.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM1.2-2

Impact on adjacent Green Belt

Rating: Moderate

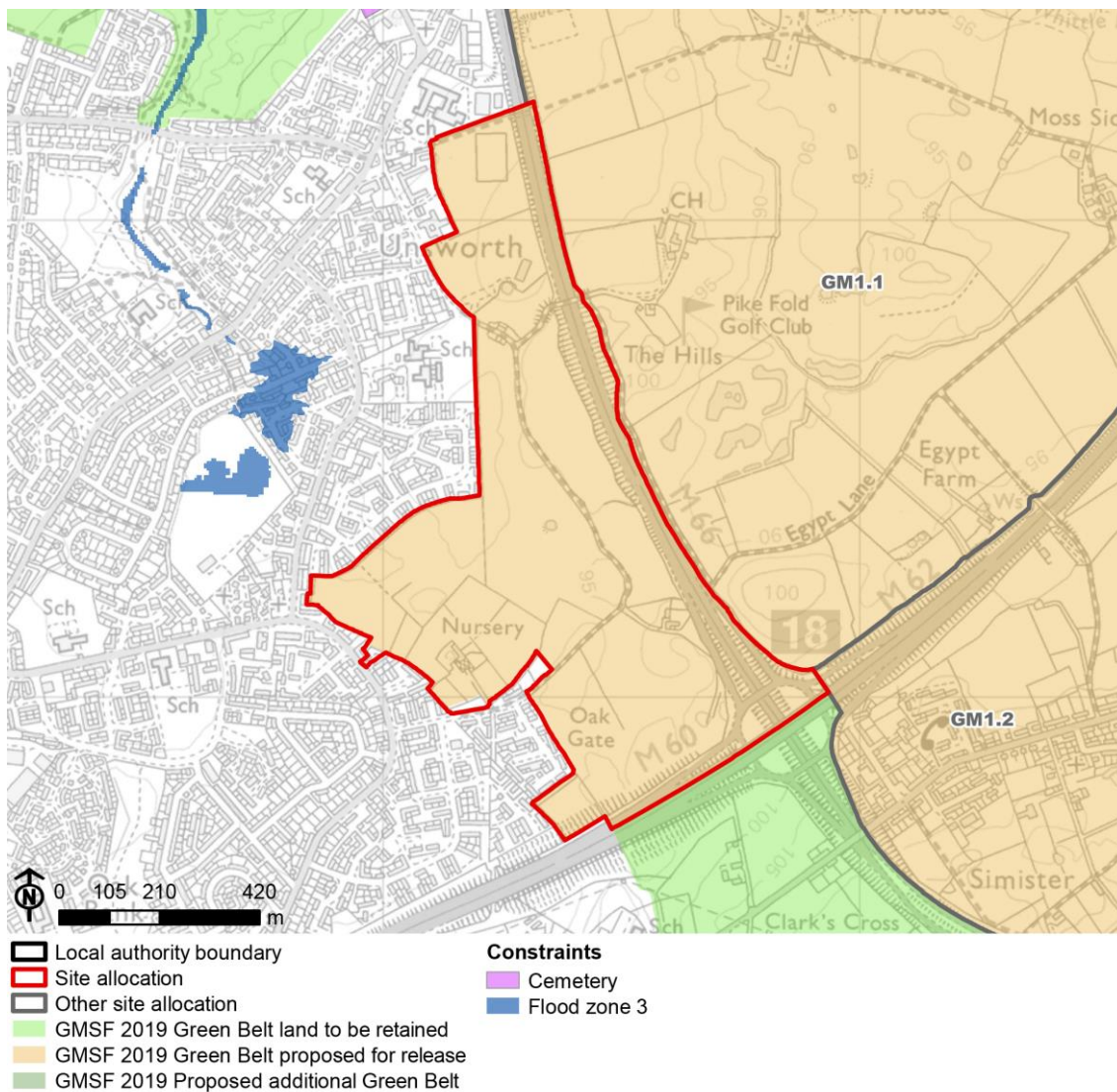
Release of the sub-area, as part of the release of the Allocation as a whole, would increase the containment of retained Green Belt land to the southwest. However, the majority of this land is within the Heaton Park Registered Park and Garden, an absolute constraint to development, and as such its containment would not increase the harm of release. Release would however increase the containment of retained Green Belt land to the northeast, and would threaten the gap between settlements to the west. Release of the sub-area, as part of the release of the Allocation as a whole, would result in a distinct revised Green Belt boundary, defined by the M60 motorway corridor to the southwest, and Whittle Brook bounding the northeast of the sub-area would provide a Green Belt boundary of similar strength to the existing breached Heywood Old Road. The release would also have a negligible bearing on the strength of retained Green Belt land to the north, as the adjoining motorway corridor and intervening field boundaries create distinction between the sub-area and those parts of the wider Allocation area that adjoin the retained Green Belt to the north.

Overall harm to Green Belt purposes from release of land

High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, and a relatively significant impact on preventing the merger of towns. It would also constitute a moderate weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as high.

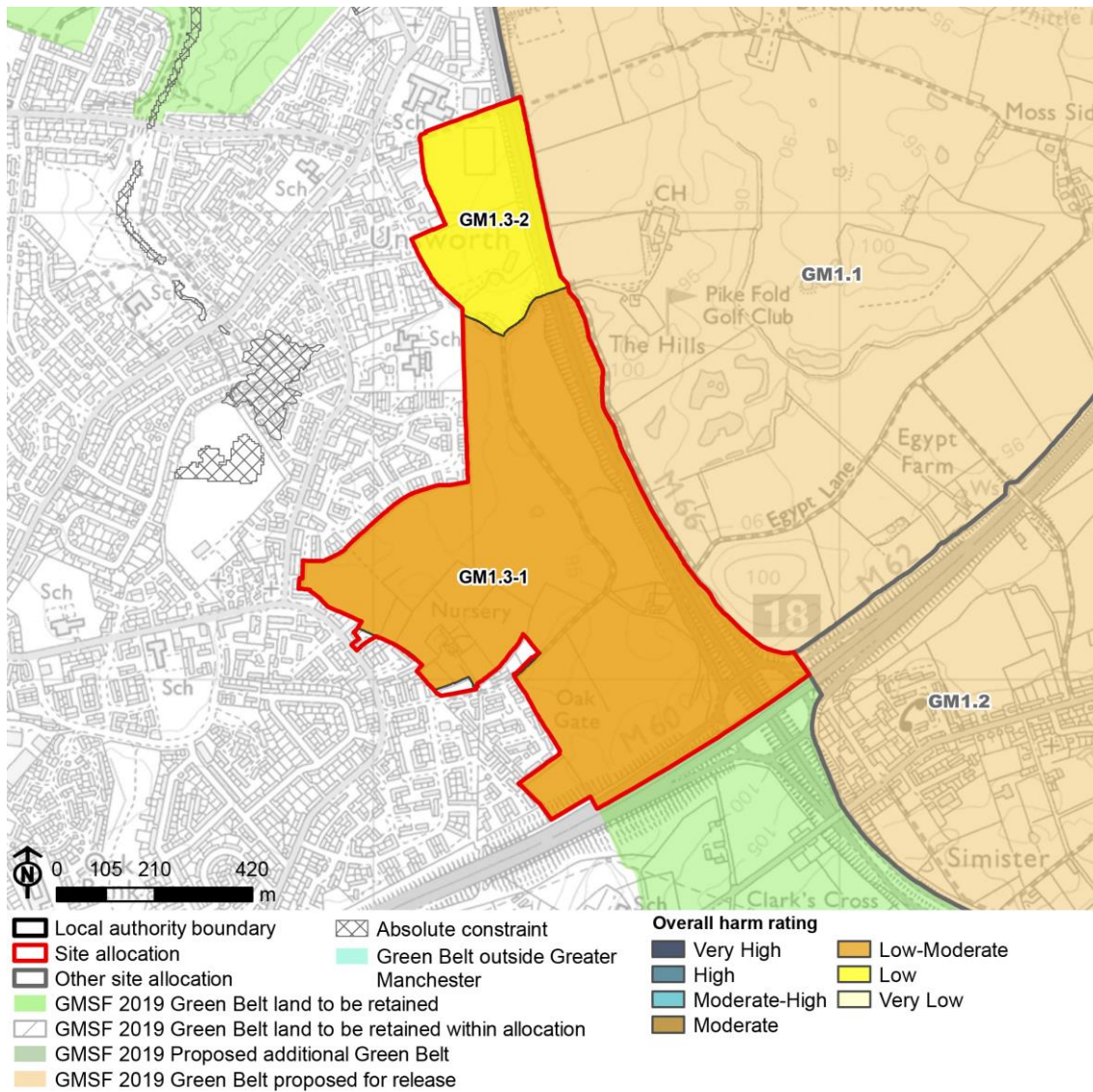
GM1.3 - Whitefield



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GM Allocation 1, the Northern Gateway, is split into three sub-Allocations. GM1.3 Whitefield comprises farmland lying between Whitefield and the M66 motorway corridor, within the Metropolitan Borough of Bury.

GM1.3



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GM1.3

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Low-Moderate | 51.7 |
| Low | 10.5 |
| Total Allocation area | 62.7 |

GM1.3 is split into two sub-areas to reflect variations in harm to the Green Belt purposes.

The land predominantly comprises of open farmland, with Castlebrook High School located in the north. The land lacks distinction from the urban edge and is tightly bound by the M60 and M66 motorway corridors. The majority of land therefore makes only a moderate contribution to checking the sprawl of Greater Manchester and safeguarding the countryside from encroachment, with land at the school site making a lesser contribution.






As the Allocation is tightly bound by motorway corridors, its release would not result in the increased containment of any retained Green Belt land and would not result in a weakening of distinction between inset land and retained Green Belt land, creating a distinct and consistent Green Belt boundary along the M60 motorway corridor to the south. Release of this Allocation would therefore cause low-moderate harm to Green Belt purposes, although it is noted that in conjunction with release of the adjoining Allocations GM1.1 and GM1.2 there would be very high harm associated with the removal of the gap between Whitefield, Heywood and Rhodes/Middleton.

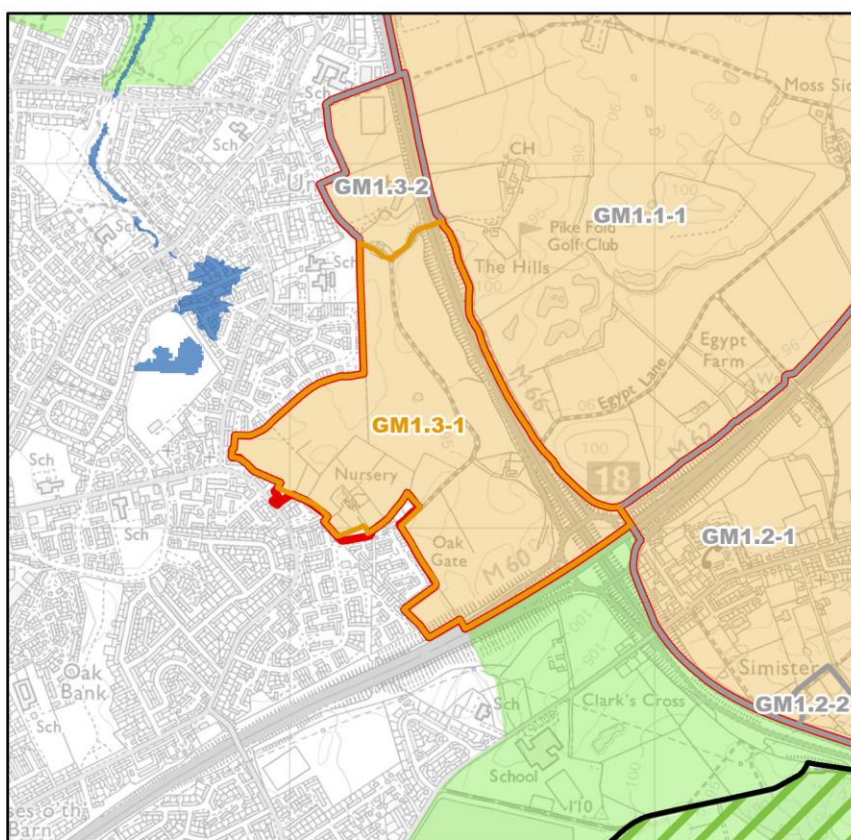
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM1.3-1



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Registered parks and gardens
-  Flood zone 3



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GM1.3-1

Area Description

Gently undulating farmland lying between the western edge of Whitefield and the M66 motorway corridor. The sub-area consists of open farmland and contains no urbanising development to diminish openness, however the fields between Roch Crescent, Mode Hill Lane and Oak Lane are contained to a degree by the inset settlement edge. Residential garden boundaries on the settlement edge do not create any significant distinction from the adjacent urban edge. The presence of the M66 motorway corridor and buffer of vegetation to the east and the M60 to the south creates a strong sense of distinction from retained Green Belt land adjacent to the south of the sub-area and beyond the Allocation boundary to the east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Whitefield is part of the large built-up area of Greater Manchester, however the lack of distinction from the urban edge, and the extent of containment from the wider countryside, limit the extent to which new development would be considered unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The sub-area does lie between the towns of Whitefield and Middleton/Rhodes, but due to the extent of its containment is more closely related to the former.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

The sub-area has rural uses, however the extent of its containment and lack of significant distinction from the urban edge limit the extent to which development would constitute encroachment on the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM1.3-1

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM1.3-1

Impact on adjacent Green Belt

Rating: No/negligible

Due to the presence of nearby road infrastructure, releasing this sub-area, as part of the release of the Allocation as a whole, would not significantly increase the containment of any retained Green Belt land. It would also result in a distinct and more consistent boundary between the inset settlement and the retained Green Belt land to the south, which would be defined by the M62 motorway corridor. The release of the sub-area, as part of the release of the Allocation as a whole, would also have a negligible bearing on the strength of retained Green Belt land to the northeast, as the adjoining motorway corridors and intervening field boundaries create distinction between the sub-area and those parts of the wider GM1 Allocation area that adjoin the retained Green Belt.










Overall harm to Green Belt purposes from release of land

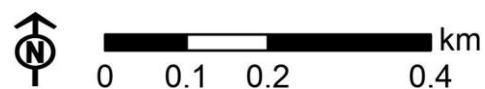
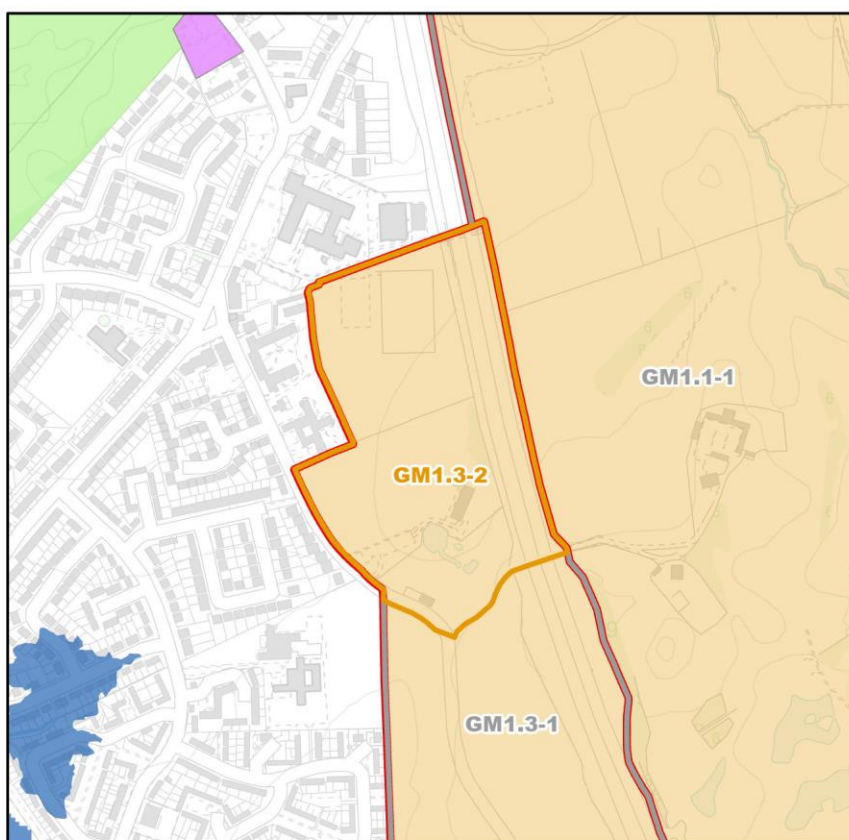
Low-Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would have a moderate impact on preventing sprawl and preventing encroachment on the countryside. It would constitute only a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as low-moderate.

GM1.3-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Cemetery
-  Flood zone 3



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GM1.3-2

Area Description

Buildings and playing fields associated with Castlebrook High School with a woodland block to the south, adjacent to the eastern edge of Whitefield and lying in the gap between the settlement edge and the M66 motorway. While some land uses within the sub-area are appropriate Green Belt uses, the recent school extension in the north creates a degree of urbanising influence, and the area is significantly contained by urbanising development to the west. Partial tree cover on the settlement edge creates some limited distinction from urbanising uses, however it is acknowledged that this boundary has been breached by development in the north, limiting the sense of distinction. The M66 motorway corridor serves as a distinct and consistent boundary with retained Green Belt land beyond the Allocation to the east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

Whitefield is part of the large built-up area of Greater Manchester, however the presence of urbanising influences within the sub-area, and the lack of distinction from the urban edge, limit the extent to which new development would be considered unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The sub-area does lie between the towns of Whitefield and Middleton/Rhodes, but due to the extent of its containment is more closely related to the former.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Limited/No

Releasing this land would encroach on land which contains some uses associated with the proximity of the urban area. While there are some areas which are open in character, the sub-area in general has a stronger association with adjacent urbanising uses than with the open countryside.

GM1.3-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM1.3-2

Impact on adjacent Green Belt

Rating: No/negligible

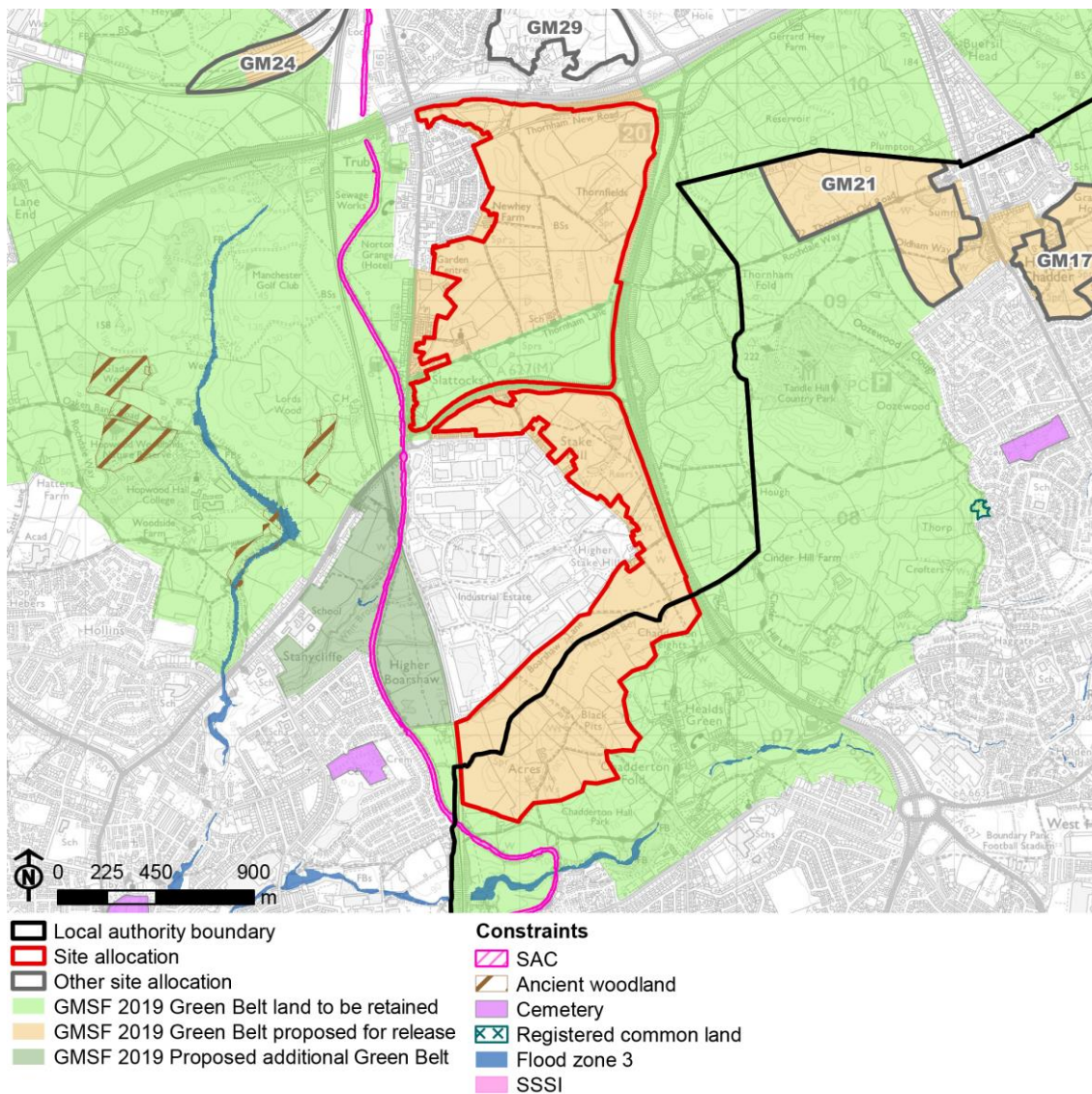
Due to the extent of its own containment, release of the sub-area, as part of the release of the Allocation as a whole, would not result in the increased containment of any retained Green Belt land. Its release would also have no bearing on the strength of retained Green Belt land to the south of the Allocation, as the M62 corridor and the intervening Pole Lane and Hills Lane create distinction between the sub-area and those parts of the Allocation area that adjoin the retained Green Belt to the south. In addition, the release of the sub-area, as part of the release of the Allocation as a whole, would also have a negligible bearing on the strength of retained Green Belt land to the northeast, as the adjoining motorway corridors and intervening field boundaries create distinction between the sub-area and those parts of the wider GM1 Allocation area that adjoin the retained Green Belt.

Overall harm to Green Belt purposes from release of land

Low

Release of the sub-area, as part of the release of the Allocation as a whole, would have a relatively limited impact on preventing sprawl. It would constitute a negligible weakening of adjacent Green Belt land. Harm from the release of the sub-area is therefore assessed as low.

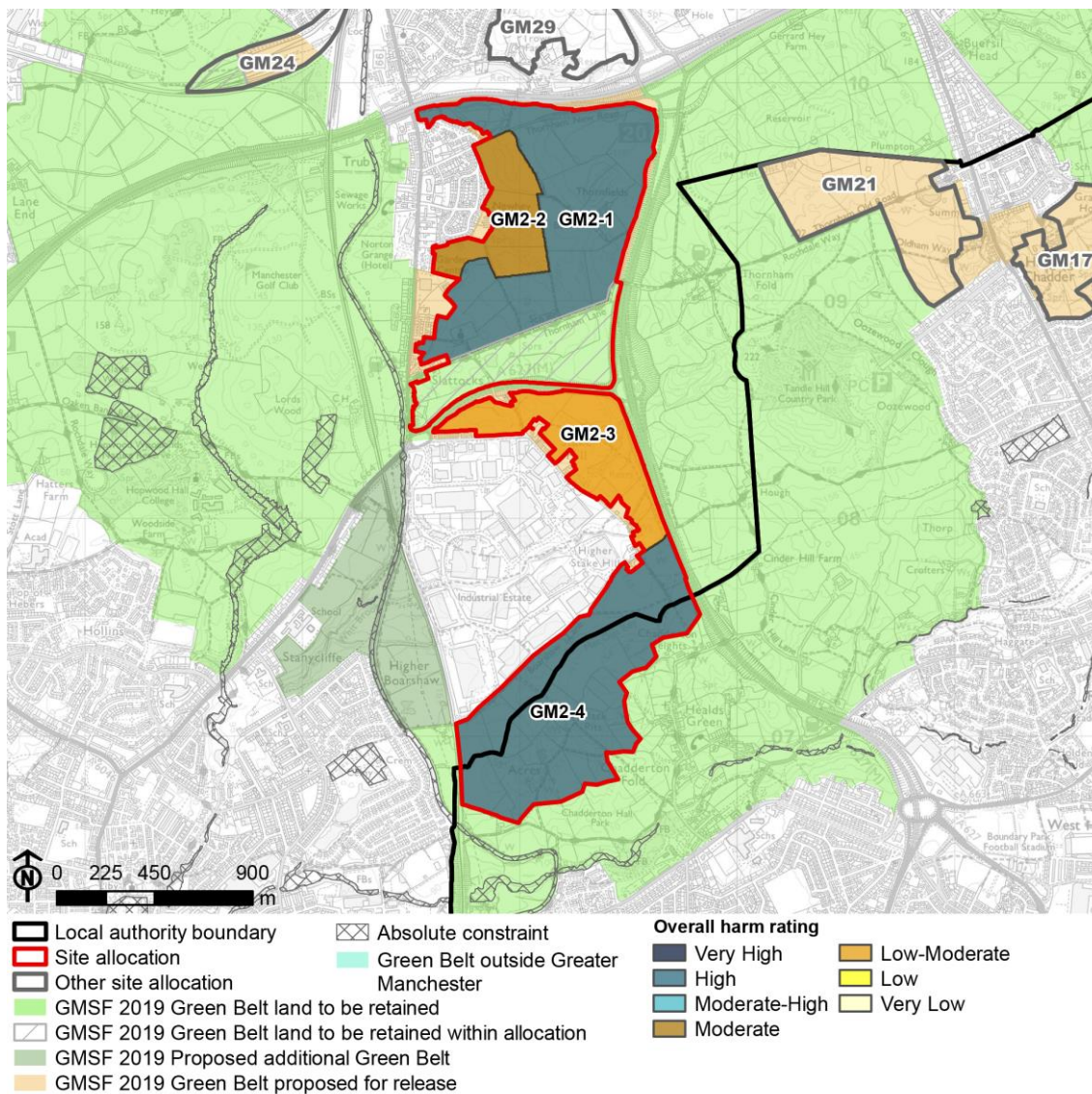
GM2 - Stakehill



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Land east of Stakehill Distribution Park, straddling the Metropolitan Boroughs of Rochdale and Oldham.

GM2



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GM2

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| High | 130.7 |
| Moderate | 18 |
| Low-Moderate | 27.1 |
| Retained Green Belt | 24.5 |
| Total Allocation area | 200.2 |

GM2 is split into four sub-areas to reflect variations in harm to the Green Belt purposes.

The land predominantly comprises of open farmland, contained by the A627(M) to the east. Parts of the Allocation have some distinction from the urban edge and do not have a sense of urbanising containment, whilst other parts lack any distinction from the urban edge and are more contained by existing urbanising development. As such, the majority of the Allocation makes a significant contribution to checking the sprawl of Greater Manchester and preventing encroachment on the countryside, as well as a moderate or relatively significant contribution to preventing the merger of Castleton, Middleton and Chadderton. Land in the south also makes a moderate contribution to preserving the setting of Middleton (Town Centre) and Chadderton.

The A627(M) forms a clear boundary to the east of the Allocation, leaving sufficient separation from Royton for there to be negligible weakening of Green Belt land in between as a result of release of the Allocation. Release would however increase the containment of retained Green Belt land to the south and would result in a weaker Green Belt boundary in this location. Release would also weaken the fragile north-south separation between Castleton and Middleton. It is proposed to retain an east-west strip of Green Belt within the Allocation area to the north of the Stakehill Distribution Centre, which will have the benefit of maintaining a gap between Middleton and Castleton, but this strip will be largely contained without any significant distinction from the urban edges. Settlement separation will still therefore be weakened and release of the Allocation would result in high harm to the Green Belt purposes.

GM2

Potential to mitigate harm

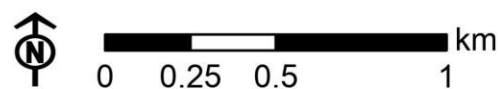
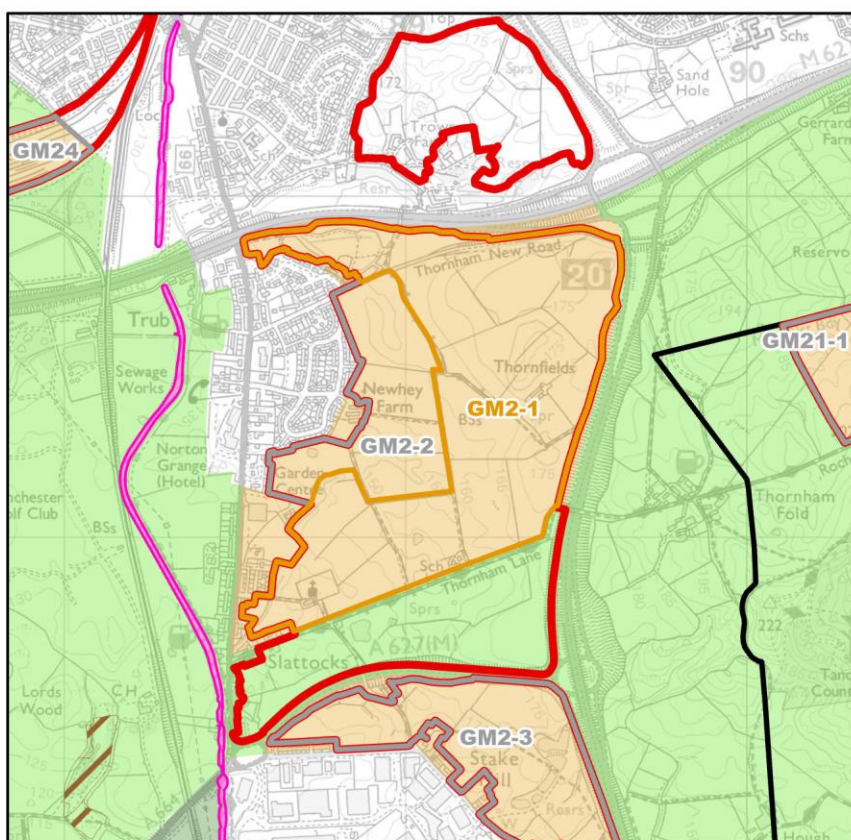
The proposed addition of Green Belt between Stakehill Distribution Centre and Middleton to the west will contribute to preserving a degree of distinction between towns, but the extent of its containment by urban edges will limit its contribution to the Green Belt purposes.

Strengthening the boundaries of the retained Green Belt land within and to the south of the Allocation could potentially increase the future distinction between the inset edge and retained Green Belt land. This could help to limit the weakening of this land and limit the perception of the merging of towns.

GM2-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- SAC
- Ancient woodland
- Flood zone 3
- SSSI



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GM2-1

Area Description

Open undulating farmland lying between the inset edges of Castleton to the north west and Stakehill Industrial Park (on the edge of Middleton) to the south, and adjacent to the sprawling development at Castleton and Slattocks to the west. The sub-area is divided by hedgerows, lanes, and some tree lines, including farmsteads, a church and an individual primary school, however these do not constitute a significant urbanising influence that would diminish openness. Residential garden boundaries do not create any significant distinction from the adjacent developed area within Castleton to the northwest, and the fields within the adjacent sub-area to the west provide limited separation from the remainder of Castleton to the west; however there is a gradual increase in distinction with the increasing eastward elevation of the landform. The M62 provides greater distinction to the north - the motorway itself is sunk in a cutting so provides minimal visual screening, however the associated tree belts provide a screening role. The settlement edges (and washed over development) to the north, south and west do create a degree of containment within parts of the sub-area, however this diminishes with distance in an eastward direction. The sub-area is strongly defined on its outer boundary with retained Green Belt land to the east by the A627(M), while to the south west it is defined by washed over residential development, a cricket club and a garden centre within Slattocks - however this development does not form a visual barrier between the sub-area and higher open ground to the west. The boundary between the sub-area and retained Green Belt land within the Allocation to the south is defined by Thornham Lane, which creates little distinction between the two.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Middleton, Castleton and Slattocks/Castleton all form part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. Distinction from the inset settlement edge to the west increases as the landform rises to the east.

GM2-1

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would significantly reduce the gap between towns (Castleton and Middleton) which, although to a degree linked by the development of Slattocks along the A664, are largely distinct.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

Releasing this sub-area would encroach on predominantly open land which, despite a lack of any significant boundary features to separate it from the urban edge, is perceived as countryside which has a distinction from the inset settlement edge to the west that increases as the landform rises to the east.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM2-1

Impact on adjacent Green Belt

Rating: Minor

To the north, east and west the sub-area has strong containment by roads and urban development, but its release would have some impact on the fragile north-south separation between Castleton and Middleton. The Allocation retains a strip of east-west Green Belt connectivity to the south of the sub-area, but the extent of containment of this area, and its weak boundary distinction from the sub-area, mean that it would make a weakened contribution to the Green Belt purposes. Although the Green Belt to the southwest of the sub-area already contains washed-over development at Slattocks, this development is relatively limited and does not form a visual barrier. Release would therefore reduce the connectivity between the wider retained Green Belt land to the east and west.

Overall harm to Green Belt purposes from release of land

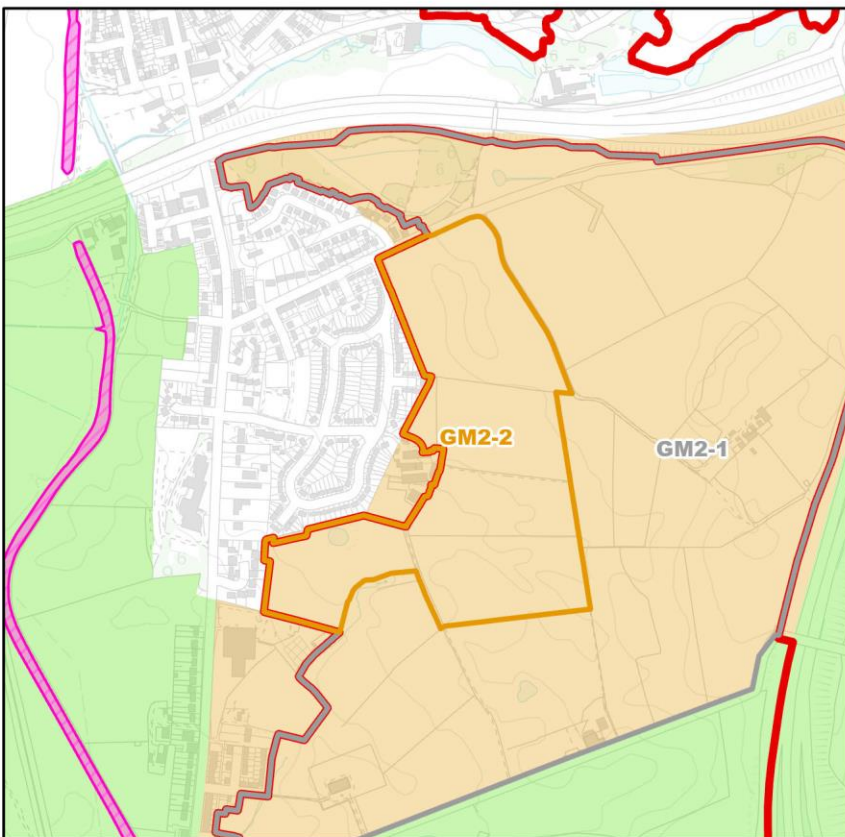
High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, and a relatively significant impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as high.

GM2-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  SAC
-  SSSI



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GM2-2

Area Description

Open fields sloping down to the southwest, located on the eastern edge of the inset sprawling development at Castleton. The sub-area is divided by hedgerows and tracks. Residential garden boundaries do not create any significant distinction from the adjacent developed area to the west. In addition, the settlement edge adjoining the west of the sub-area, as well as the settlement edge to the north, create a limited degree of containment within the sub-area. Hedgerows, tracks and woodland clusters on land rising eastwards and sloping land southwards define the outer boundary of the sub-area with the surrounding sub-area GM2-1.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Castleton forms part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. However, the lack of distinction between the sub-area and the adjacent urban edge limit's the land's role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would reduce the gap between towns (Castleton and Middleton) but open land to the north, east and south of the sub-area would remain, providing separation between these towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this sub-area would encroach on open land which, despite lack of distinction on the urban edge, is perceived as countryside and retains a relatively strong relationship with open land to the north, east and south.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM2-2

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM2-2

Impact on adjacent Green Belt

Rating: No/Negligible

Release of the sub-area would have no bearing on the strength of retained Green Belt land within the Allocation to the south, as intervening field boundaries create distinction between the sub-area and those parts of the Allocation area that adjoin the retained Green Belt within it. Due to the extent of its own containment, by urbanising development to the west and rising land to the east, the release of the sub-area would not contribute to the increased containment or boundary weakening of any retained Green Belt land beyond the Allocation.

Overall harm to Green Belt purposes from release of land

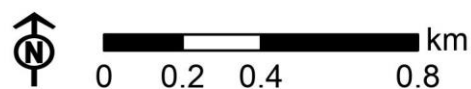
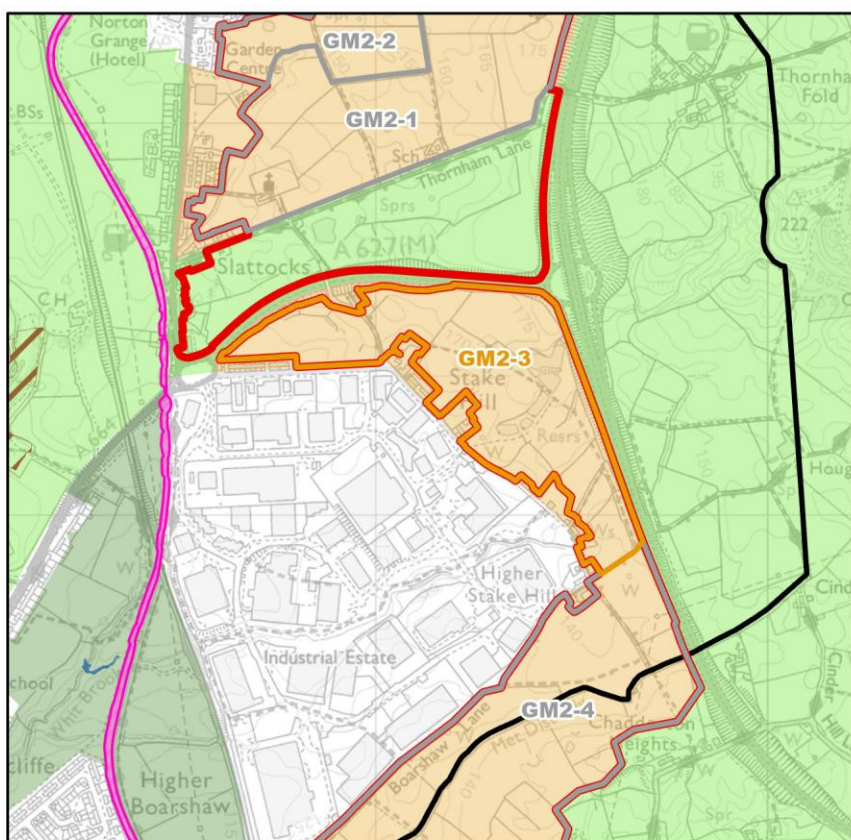
Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as moderate.

GM2-3



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- SAC
- Ancient woodland
- Flood zone 3
- SSSI



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GM2-3

Area Description

Relatively flat area of farmland adjacent to the north eastern edge of the inset Stakehill Distribution Park (Middleton). The sub-area contains ponds and the rear sections of a farm and a nursery, however these uses do not significantly impact on Green Belt openness. Although softened by tree cover, the scale of commercial development, combined with the sense of containment created by the motorways, contributes to a sense of association with the urban area, and Stakehill Lane does not create any significant distinction from the adjacent urban edge. The blocks of washed over residential development along Stakehill Lane on the south western edge of the sub-area also weaken the sense of distinction with urbanising uses. Hough Lane provides limited separation from the adjoining sub-area to the south. The outer boundary with adjacent retained Green Belt land within the Allocation to the north and within the wider Green Belt to the east is defined more distinctly by the A627(M).

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Middleton is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. However, although the area has no urbanising development to diminish openness, the area is contained by surrounding urban edges and landform and land cover create no significant distinction from the adjacent urban edge, limiting the role of the sub-area in preventing unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The sub-area does lie between the towns of Middleton and Castleton/Rochdale, but is more closely related to the former. Other Green Belt land plays a stronger role in maintaining separation and the Slattocks Link road and associated tree buffer would remain as a separating feature.

GM2-3

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing this sub-area would encroach on land which is relatively free of urbanising uses within its own boundaries, but is significantly contained and influenced by surrounding urbanising development, and landform and land cover do not create any significant distinction from the adjacent urban edge. This acts to limit its relationship with adjacent open countryside to the east.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM2-3

Impact on adjacent Green Belt

Rating: No/negligible

Due to the extent of its own containment by urbanising development and roads, releasing this sub-area would create only very limited increased containment of retained Green Belt land within the Allocation to the north, and would not significantly weaken its contribution to Green Belt purposes. Release of the sub-area, as part of the release of the Allocation as a whole, would not increase the containment of retained land within the wider Green Belt. Release would also result in a consistent and distinct boundary between the inset settlement and retained Green Belt land within and outside of the Allocation, defined to the north and east by the A627(M).

Overall harm to Green Belt purposes from release of land

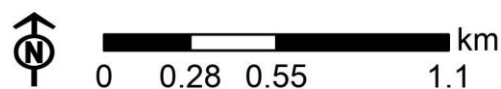
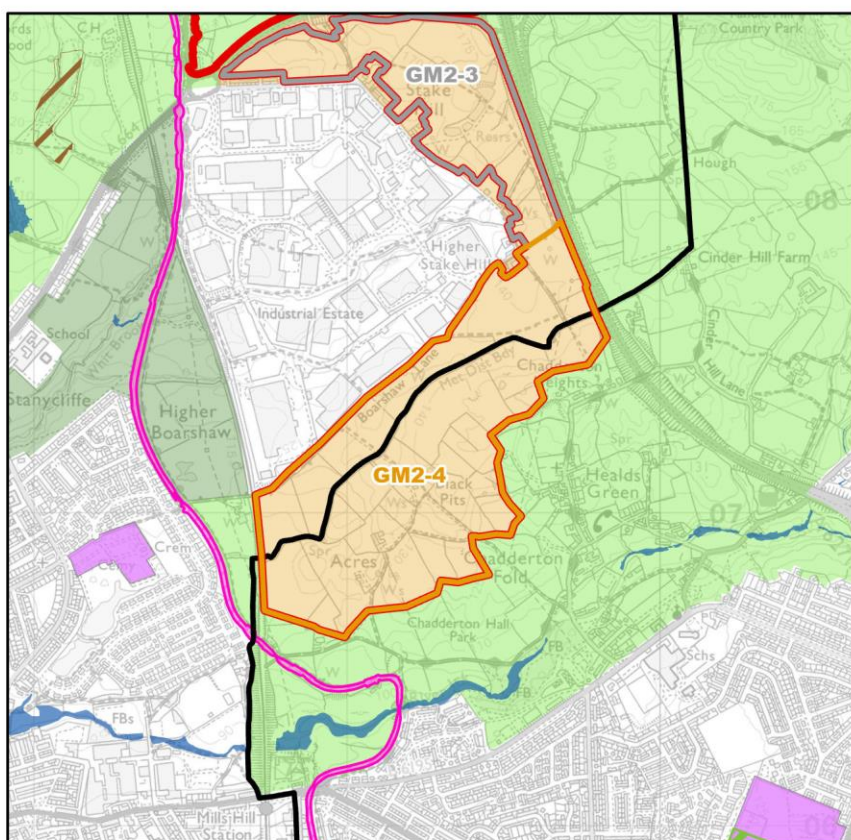
Low-Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside. It would constitute only a negligible weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as low-moderate.

GM2-4



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- SAC
- Ancient woodland
- Registered parks and gardens
- Cemetery
- Flood zone 3
- SSSI



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GM2-4

Area Description

Sloping farmland adjacent to the southern edge of the inset Stakehill Distribution Park (Middleton), forming most of the gap between the settlement edge and the washed over village of Healds Green. The sub-area contains three loosely dispersed dwellings, which constitute only a limited urbanising influence that does not significantly diminish openness. Urbanising development to the north, south and west creates a degree of containment, but the size of the sub-area is such that development within it would be perceived as sprawl. The sub-area has some distinction from the inset edge at Stakehill due to the presence of the tree-line boundary of the industrial estate to the north and the railway line (and Rochdale Canal beyond) to the west, however the latter edge directly adjoins a small contained area of retained Green Belt and an adjoining area of proposed additional Green Belt. The outer boundary adjoining retained Green Belt land to the south is defined only weakly by field boundaries, however the change of topography on the ridge crest of the River Irk valley further to the south provides some sense of distinction. The outer boundary with retained Green Belt land to the east is defined more distinctly by the A627(M). Hough Lane provides limited separation from the adjoining sub-area to the northeast.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Middleton is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The area contains no significant urbanising development to diminish openness, and the tree cover along the edge of the industrial estate to the north creates some distinction from the adjacent urban edge. Although there is some degree of containment by urbanising development to the north, south and west, the size of the area is such that development within it would be perceived as sprawl.

GM2-4

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this sub-area would significantly reduce the gap between the towns of Middleton and Chadderton, where there are no significant separating features to prevent further merging. The two towns are already significantly linked to the south, however this open land still plays a role in the separate identities of the two settlements.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

Releasing this sub-area would encroach on land which, due to the absence of urbanising influences and sense of distinction on the urban edge, is generally perceived as countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Moderate

The open land within the sub-area is an element of the historic setting of Middleton (Town Centre) and Chadderton. Release of land would detract from this but would not affect key elements of historic character and setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM2-4

Impact on adjacent Green Belt

Rating: Minor

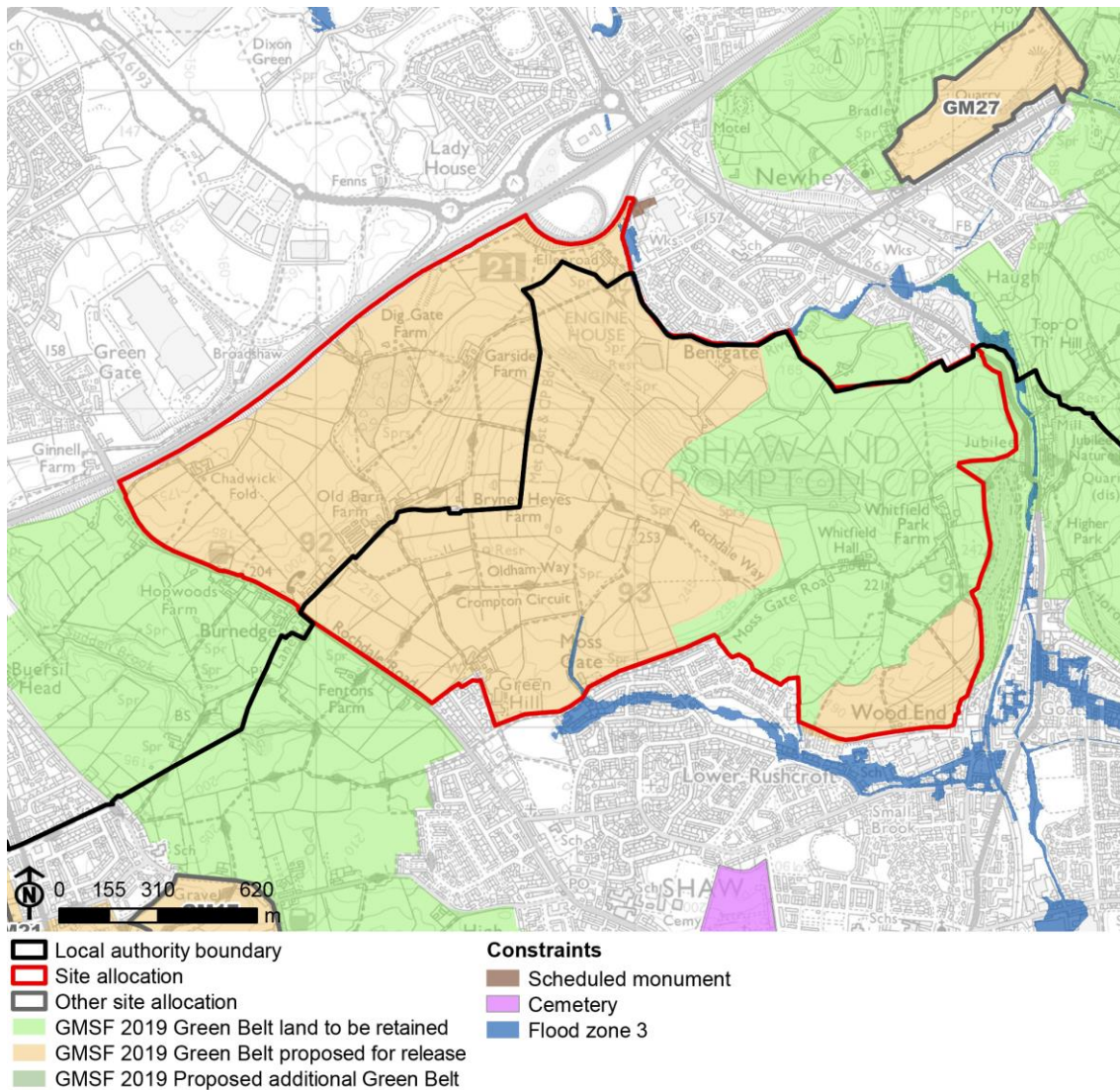
Releasing this sub-area, as part of the release of the Allocation as a whole, would largely contain the retained and proposed Green Belt land between the railway line and the canal to the west, however this land plays a weaker role in relation to Green Belt purposes and as such its containment would not increase harm of release. It would however also lead to some increased containment of adjacent retained Green Belt land to the south. As the sub-area directly adjoins open fields to the south the release would also result in a weaker distinction between the inset settlement and this retained Green Belt land, however the sloping landform of the Irk Valley to the south this would help to retain distinct separation from Chadderton.

Overall harm to Green Belt purposes from release of land

High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns and protecting the setting and special character of historic settlements. It would constitute a minor weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as high.

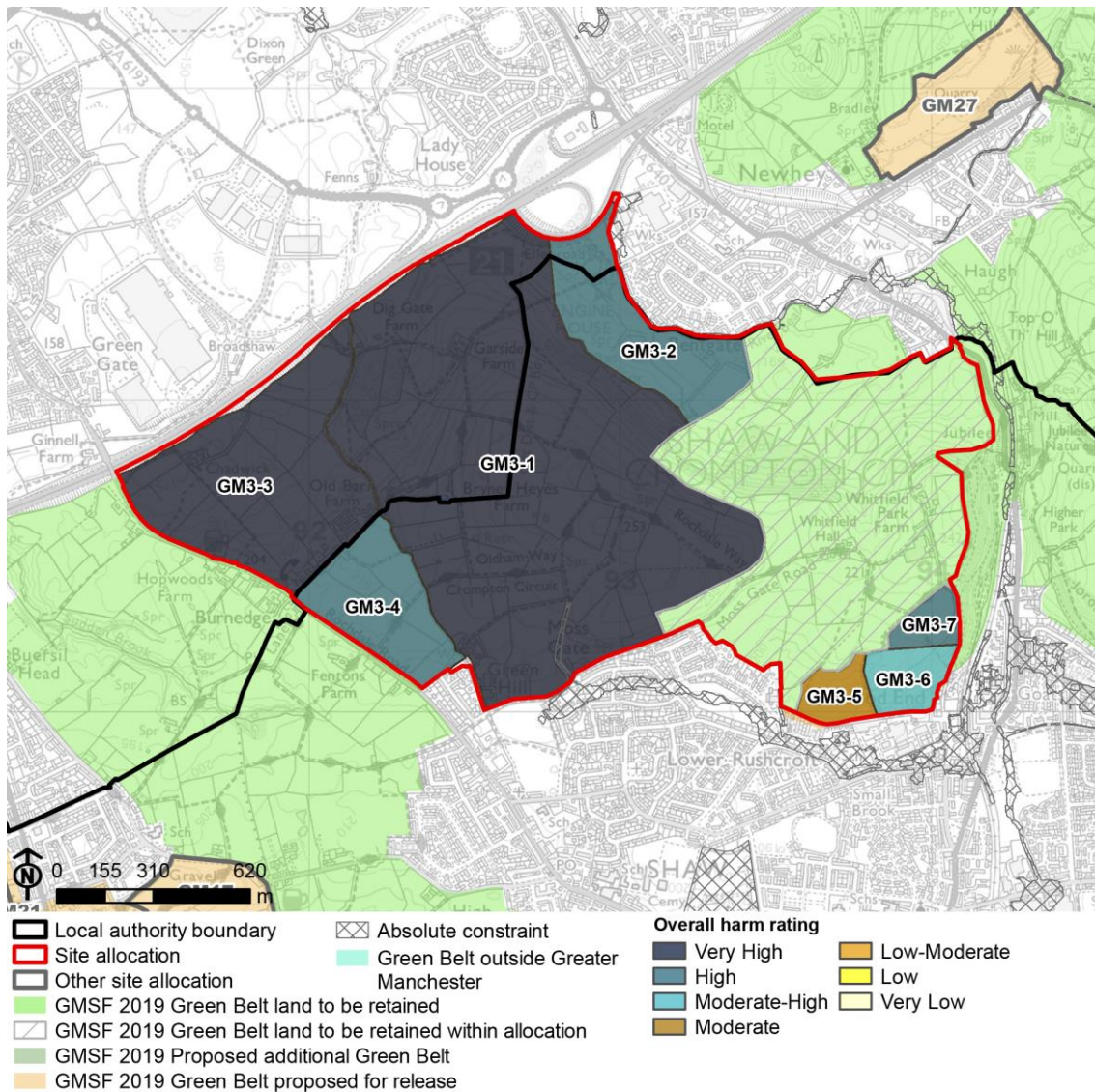
GM3 - Kingsway South



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Land at Bryney Heys hill, lying between Shaw and Rochdale and straddling the Metropolitan Boroughs of Rochdale and Oldham.

GM3



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GM3

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Very High | 156.3 |
| High | 34.9 |
| Moderate-High | 5.1 |
| Moderate | 3.8 |
| Retained Green Belt | 75.8 |
| Total Allocation area | 278.7 |

GM3 is split into seven sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation predominantly comprises of open farmland on elevated land rising up to Bryney Heys hill. This slope and M62 motorway corridor to the north create distinction between much of the land within the sub-area and the surrounding urban edge, and this land does not retain a sense of urbanising containment. As such, the majority of land within the Allocation makes a relatively significant or significant contribution to preventing the sprawl of Greater Manchester, encroachment on the countryside and the merger of Newhey, Rochdale and Shaw & Crompton, and protecting the historic setting of the town of Shaw, with the more contained land in the southeast of the Allocation lacking distinction along the urban edges making a lesser contribution.

Release of the Allocation would remove Green Belt separation between Rochdale, Shaw and Newhey, reducing the connectivity of the wider Green Belt and weakening the distinction between the urban edge and retained Green Belt land. It is proposed to retain much of the eastern part of the Allocation as Green Belt but this area, although sizeable, will be weakened by the presence of containing development to the west. Release of the Allocation would result in very high harm to Green Belt purposes.

GM3

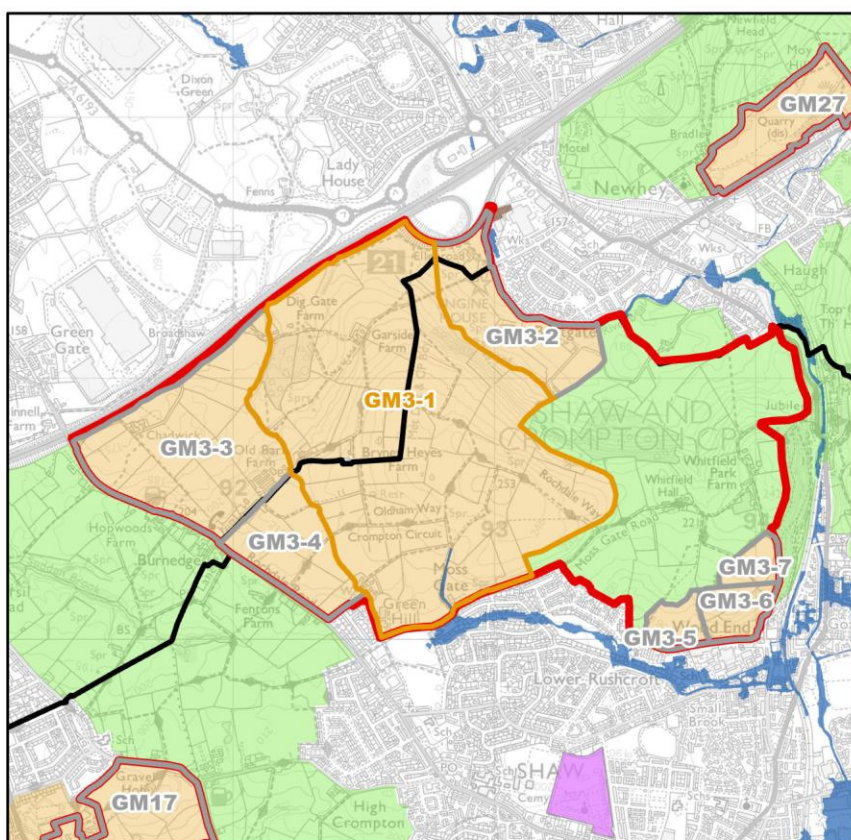
Potential to mitigate harm

Strengthening the boundaries of the retained Green Belt land within the Allocation could potentially increase the future distinction between the inset edge and retained Green Belt land. This could help to limit the weakening of this land and limit the perception of the merging of towns.

GM3-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Scheduled monument
- Cemetery
- Flood zone 3



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GM3-1

Area Description

Elevated fields at Bryney Heys hill, lying in the gap between Newhey, Rochdale, and Shaw and Crompton. The sub-area contains no significant urbanising influences that could diminish openness and, although located within a wider area contained by inset settlement edges, the size of the area is such that there is no sense of containment within the sub-area. To the north, the M62 provides distinction from the inset edge, to the northwest the steep slopes of Bryney Heys hill also provide strong distinction, while to the south the rising landform also provides some sense of distinction, despite the absence of physical boundaries on the ground. There are no clear boundary features to mark the edge of the sub-area with the adjoining retained Green Belt land to the northeast, but the sloping land down to the east provides some distinction from the retained Green Belt land to the east and southeast.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

The sub-area contains no significant urbanising development to diminish openness, and strongly defined boundaries such as that provided by the M62 and sloping land, create strong distinction from the urban edge. As Newhey, Rochdale and Shaw & Crompton are all part of the large built-up area of Greater Manchester, development expanding in this area would therefore constitute sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Significant

Releasing this land would remove much of the existing gap between the towns of Newhey, Rochdale and Shaw & Crompton, which are currently distinct. It would also remove the significant separating feature of Bryney Heys hill.

GM3-1

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

Releasing this sub-area would encroach on land which, due to the absence of urbanising influences and sense of distinction from the urban edge, is generally perceived as countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Significant

The open elevated slopes of Bryney Heys hill are a key element of the historic setting of the town of Shaw. Releasing this land would significantly diminish this.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM3-1

Impact on adjacent Green Belt

Rating: Moderate

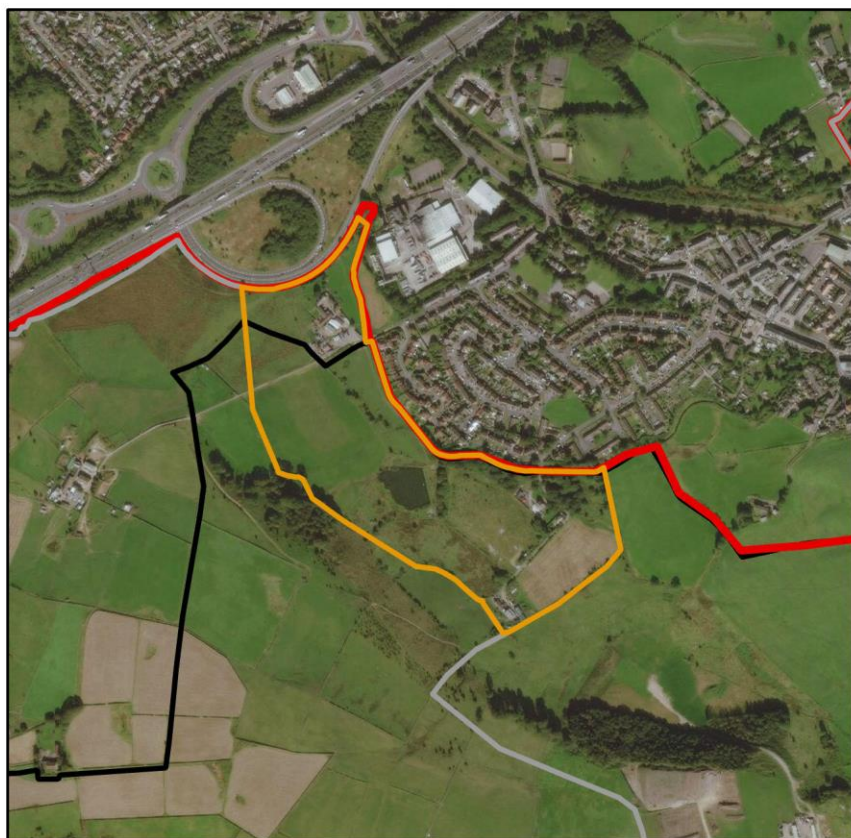
Releasing this sub-area, as part of the release of the Allocation as a whole, would increase the containment of adjacent retained Green Belt land to the east, and would reduce connectivity with the wider Green Belt. The M62 and sloping land of Bryney Heys hill currently create strong distinction from the adjacent urban edge, and therefore releasing this land would result in weaker distinction between the inset settlement and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

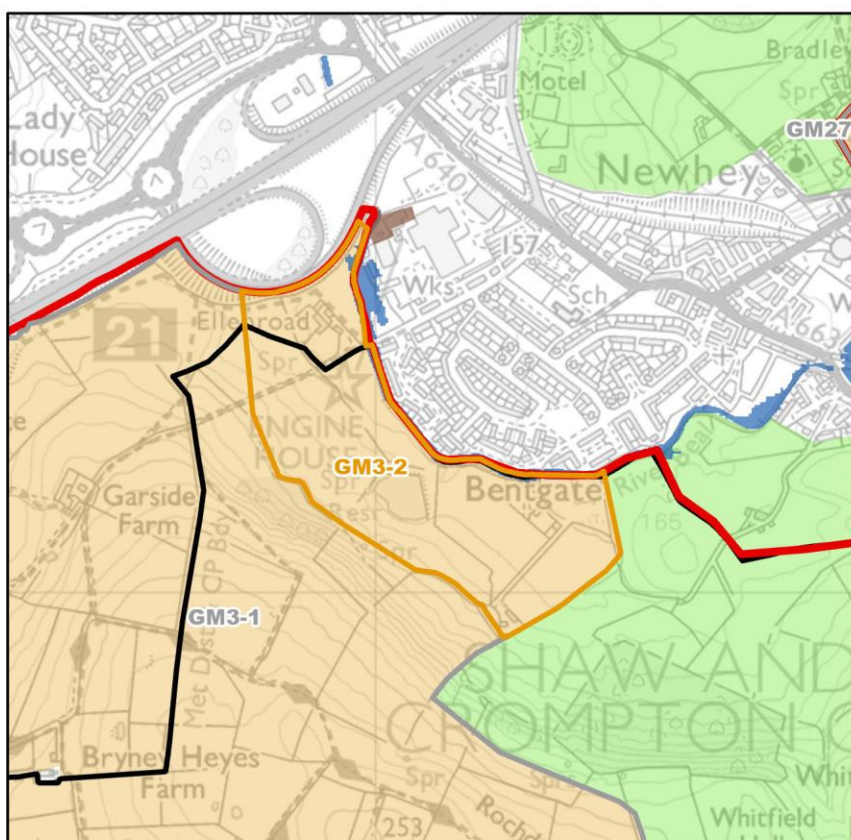
Very High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, as well as a significant impact on preventing the merger of towns and on protecting the setting and special character of historic settlements. It would also constitute moderate weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as very high.

GM3-2



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Scheduled monument
- Flood zone 3



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GM3-2

Area Description

Lower lying open land lying adjacent to the western edge of Newhey. The sub-area contains a water body and scattered farmsteads, and there are no uses that constitute a significant urbanising influence. Although located within a wider area contained by inset settlement edges, the size of the area is such that there is no sense of containment within the sub-area. The partially treed River Beal provides distinction from part of the settlement edge of Newhey. The outer boundary with the adjoining sub-area to the west and retained Green Belt land to the south is defined by the sharply rising landform to the southwest. To the east, a woodland block and field boundaries create less distinction from the adjoining retained Green Belt land.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Newhey forms part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The absence of urbanising development and sense of distinction created by the River Beal contribute to this sub-area's role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

The sub-area does lie between the towns of Newhey and Shaw & Crompton and does slightly reduce that gap, but it is more closely related to the former. Other Green Belt land plays a stronger role in maintaining separation.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

Given the absence of urbanising uses and the sense of distinction on the urban edge, this land retains a strong relationship surrounding open land and is perceived as countryside.

GM3-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Limited

The open elevated slopes of Bryney Heys hill are a key element of the historic setting of the town of Shaw. However this sub-area is screened from historic elements within Shaw due to its low lying topography, giving it a less significant role in their setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM3-2

Impact on adjacent Green Belt

Rating: Minor

Due to the rising landform to the southwest, releasing this sub-area, as part of the release of the Allocation as a whole, would not significantly contain any retained Green Belt land. The release would however result in a weaker Green Belt boundary to the east, defined by field boundaries rather than the existing River Beal.

Overall harm to Green Belt purposes from release of land

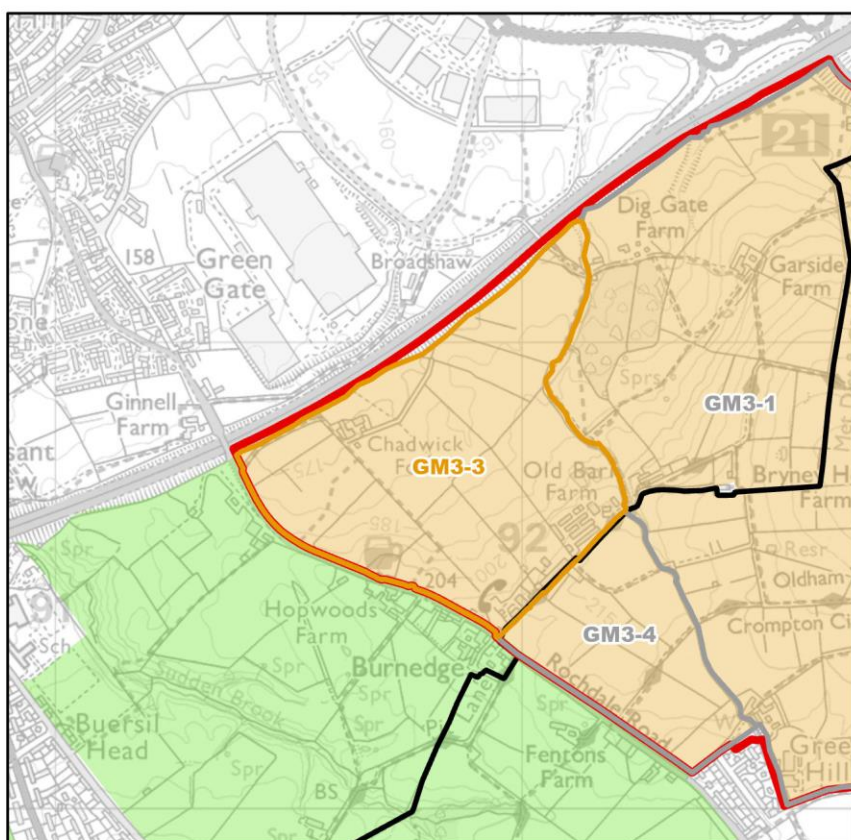
High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, a moderate impact on preventing the merger of towns, and a relatively limited impact on protecting the setting and special character of historic settlements. It would constitute a minor weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as high.

GM3-3



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt



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GM3-3

Area Description

Sloping area of farmland adjacent to the southern edge of Rochdale and forming part of the gap with Great Crompton (Shaw & Crompton) to the south. The sub-area contains no urbanising uses to diminish openness, and although located within a wider area contained by inset settlement edges, the size of the area is such that there is no sense of containment within the sub-area. The M62 motorway provides strong distinction from the inset edge to the north. Stanley Brook and a minor lane provide some distinction from the adjoining sub-areas to the east and south, whilst the edge of the sub-area adjoining retained Green Belt land to the west is defined by the B6194 Broad Lane.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Rochdale forms part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is free of urbanising development and benefits from strong distinction on the urban edge, contributing to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Significant

Releasing this open land would significantly reduce the gap between the towns of Shaw & Crompton and Rochdale, which is already relatively narrow. It would also breach the barrier of the M62 to the north, which currently plays a significant role in preserving the gap between the towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

The absence of urbanising uses and strong distinction on the urban edge give this sub-area a strong relationship with surrounding open countryside.

GM3-3

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Significant

The open elevated slopes of Bryney Heys hill are a key element of the historic setting of the town of Shaw. This sub-area is screened from historic elements by more elevated land to the south, which lessens to an extent its role in providing a setting for the town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM3-3

Impact on adjacent Green Belt

Rating: Moderate

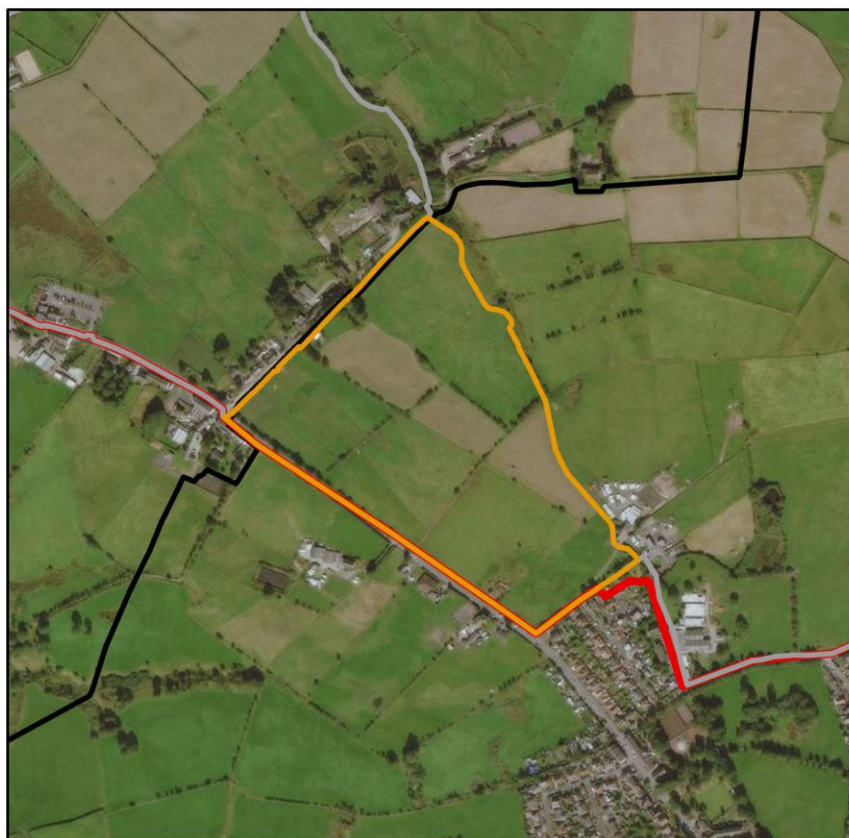
Releasing this sub-area, as part of the release of the Allocation as a whole, would increase the containment of retained Green Belt land to the west and would contribute to the reduced connectivity of the wider Green Belt. The release of land up to the M62 would negate its strong boundary role in this area.

Overall harm to Green Belt purposes from release of land

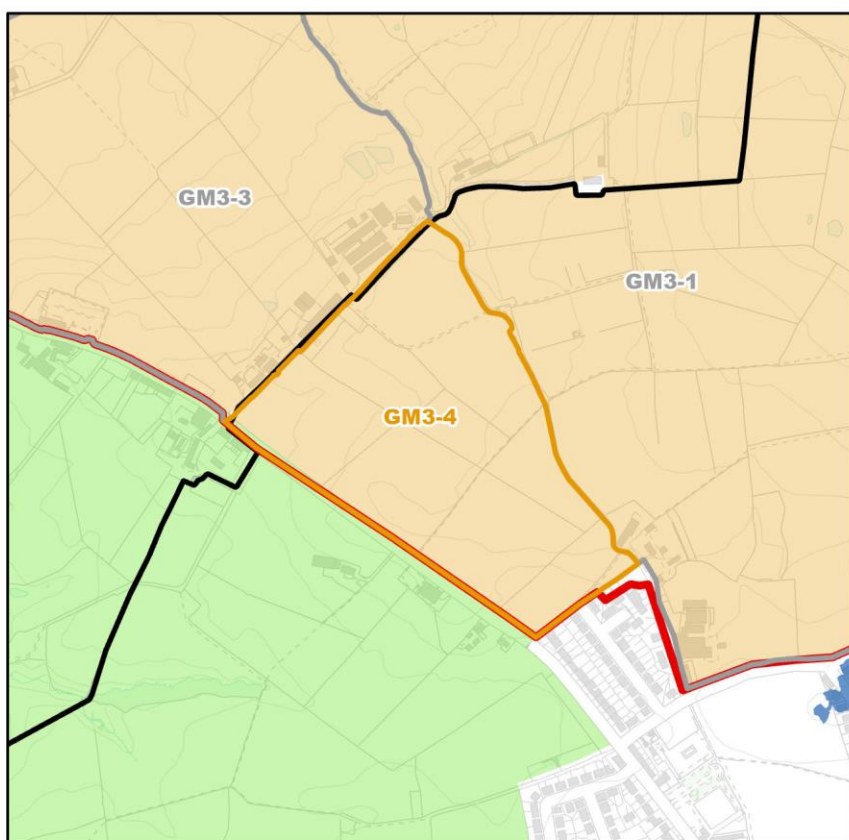
Very High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, a significant impact on preventing the merger of towns, and a relatively significant impact on protecting the setting and special character of historic settlements. It would constitute a moderate weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as very high.

GM3-4



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM3-4

Area Description

Relatively flat area of farmland with some agricultural buildings adjacent to the northern edge of High Crompton (Shaw & Crompton), and forming part of the gap with Rochdale to the north. The sub-area contains no urbanising uses to diminish openness, and although located within a wider area contained by inset settlement edges, the size of the area is such that there is no sense of containment within the sub-area. Only a small stretch of residential garden boundaries within High Crompton define the urban edge with this sub-area to the southeast, providing minimal distinction. The outer boundary with adjacent retained Green Belt land to the west is defined by the B6194 Rochdale Road.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Great Crompton forms part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is free of urbanising development and is not contained, however the lack of distinction on the urban edge slightly limits the role of this land in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this open land would significantly reduce the gap between the towns of Shaw & Crompton and Rochdale, which is already relatively narrow.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Despite the lack of distinction on the urban edge, the absence of urbanising uses and lack of urbanising containment give this sub-area a relatively strong relationship with open countryside to the north.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Significant

The open elevated slopes of Bryney Heys hill are a key element of the historic setting of the town of Shaw. Releasing this land would diminish this.

GM3-4

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM3-4

Impact on adjacent Green Belt

Rating: Minor

Releasing this sub-area, as part of the release of the Allocation as a whole, would increase the containment of retained Green Belt land to the northwest. This would contribute to reduced connectivity for retained Green Belt land to the east, but that area is large enough and distinct enough to still make a strong contribution to the Green Belt purposes. Release would form a clear Green Belt boundary along the B6194 Rochdale Road to the west, consistent with the existing settlement edge to the south.

Overall harm to Green Belt purposes from release of land

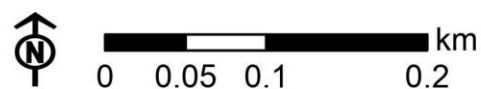
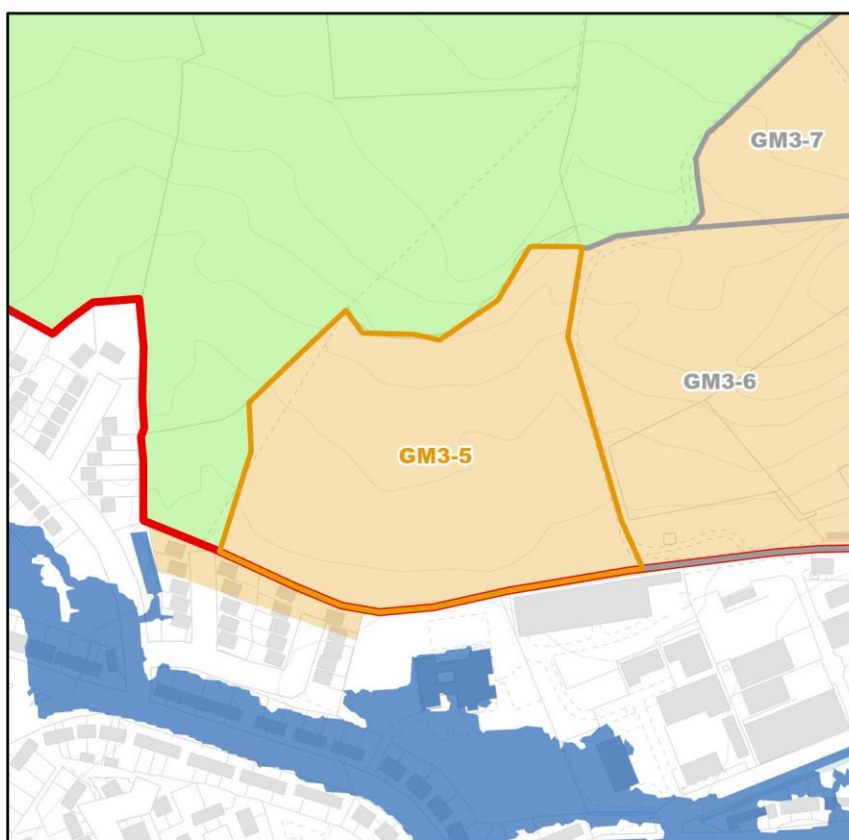
High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, a relatively significant impact on protecting the setting and special character of historic settlements, and a relatively significant impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as high.

GM3-5



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM3-5

Area Description

Farmland sloping up away from the settlement edge of Shaw & Crompton toward a woodland block in the north. The sub-area contains no urbanising uses to diminish openness, but the urban edges to the south and beyond the retained Green Belt land to the west create a degree of urbanising containment. Residential garden boundaries and hedgerow provide minimal distinction from the inset edge to the south, whilst a track marks the edge with the adjoining sub-area to the east. The edge of a paddock provides negligible distinction from the retained Green Belt land to the west, however the woodland block bounding much of the north of the sub-area creates distinction from the retained Green Belt land to the north.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Great Crompton forms part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is free of urbanising development and has only a degree of urbanising containment, however the lack of distinction on the urban edge slightly limits the role of this land in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The sub-area does lie between the towns of Shaw & Crompton and Newhey and does slightly reduce that gap, but it is more closely related to the former and the elevated land of Bryney Heys hill remains as a significant separating feature. The distinction on the outer boundary provided by the woodland block also limits the sense of encroachment on the gap.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

This sub-area is free of urbanising uses, however the lack of distinction on the urban edge and the woodland block on its outer boundary limit to an extent its relationship with adjacent open countryside.

GM3-5

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Moderate

The open elevated slopes of Bryney Heys hill are a key element of the historic setting of the town of Shaw. Despite some containment of the sub-area, releasing this land would diminish this.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM3-5

Impact on adjacent Green Belt

Rating: No/negligible

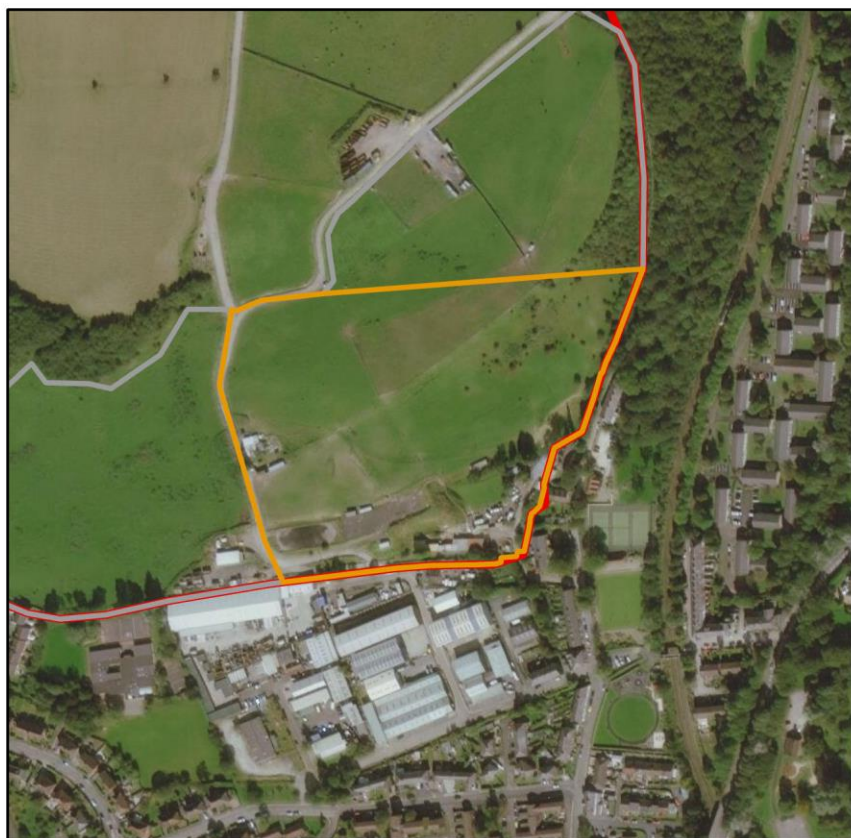
Releasing this sub-area would increase the containment of the small area of retained Green Belt land adjoining the west of the sub-area. However, this land does not make a stronger contribution to Green Belt purposes and as such its containment would not increase the harm of release. Release would not increase the containment of any other retained Green Belt land, and the woodland band to the north would form a stronger Green Belt boundary than the existing residential garden boundaries.






Overall harm to Green Belt purposes from release of land

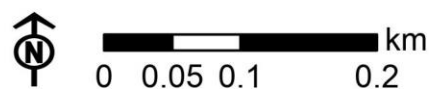
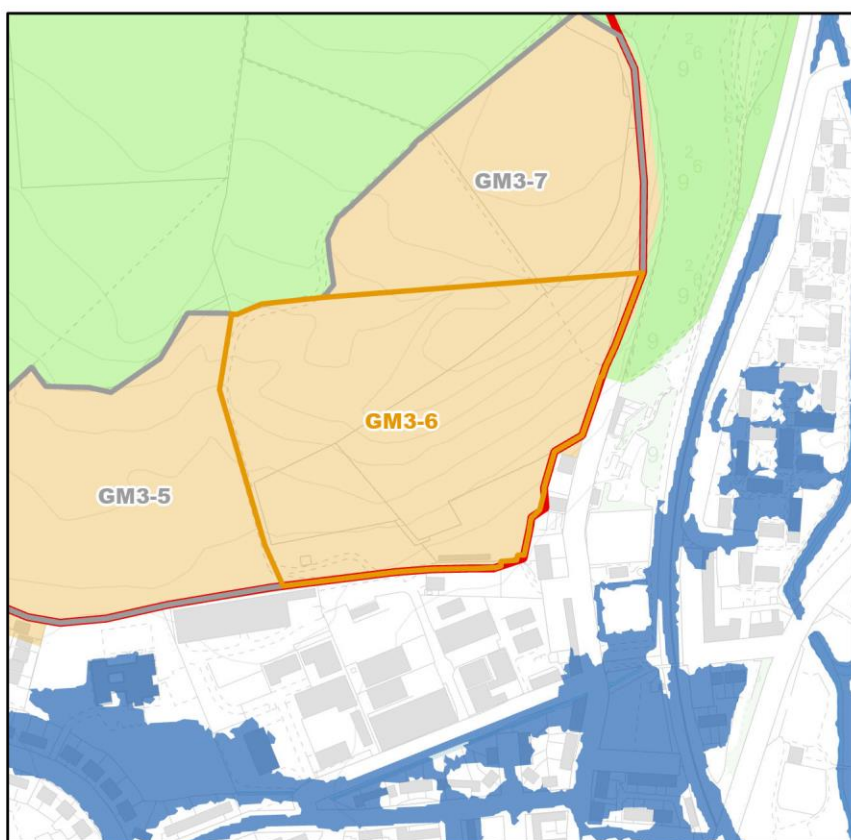
Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside and a moderate impact on protecting the setting and special character of historic settlements. It would constitute only a negligible weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as moderate.

GM3-6



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM3-6

Area Description

Open fields on land sloping up to the north. The sub-area contains no significant urbanising influences that could diminish openness however the adjoining inset edges to the east and south create a degree of containment. The steeply sloping land within the sub-area creates some distinction from the adjacent urban edge. There are no defined boundary features to mark the edge with the adjoining sub-area to the north, whilst a track marks the edge of the adjoining sub-area to the west.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Great Crompton forms part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is free of urbanising development, however its containment limits the role of the land in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The sub-area does lie between the towns of Shaw & Crompton and Newhey and does slightly reduce that gap, but it is somewhat contained and more closely related to the former and the elevated land of Bryney Heys hill remains as a significant separating feature.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

The sub-area is open and perceived as countryside, however its containment limits its role in preventing encroachment of the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Moderate

The open elevated slopes of Bryney Heys hill are a key element of the historic setting of the town of Shaw. Despite some containment of the sub-area, releasing this land would diminish this.

GM3-6

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM3-6

Impact on adjacent Green Belt

Rating: Minor

Release of the sub-area, as part of the release of the Allocation as a whole, would not increase the containment of retained Green Belt land. However, release would extend the inset area up the slopes in the south of the sub-area, causing some weakening of the Green Belt boundary.



Overall harm to Green Belt purposes from release of land

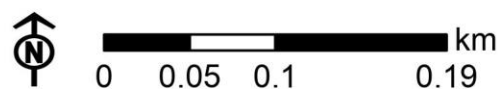
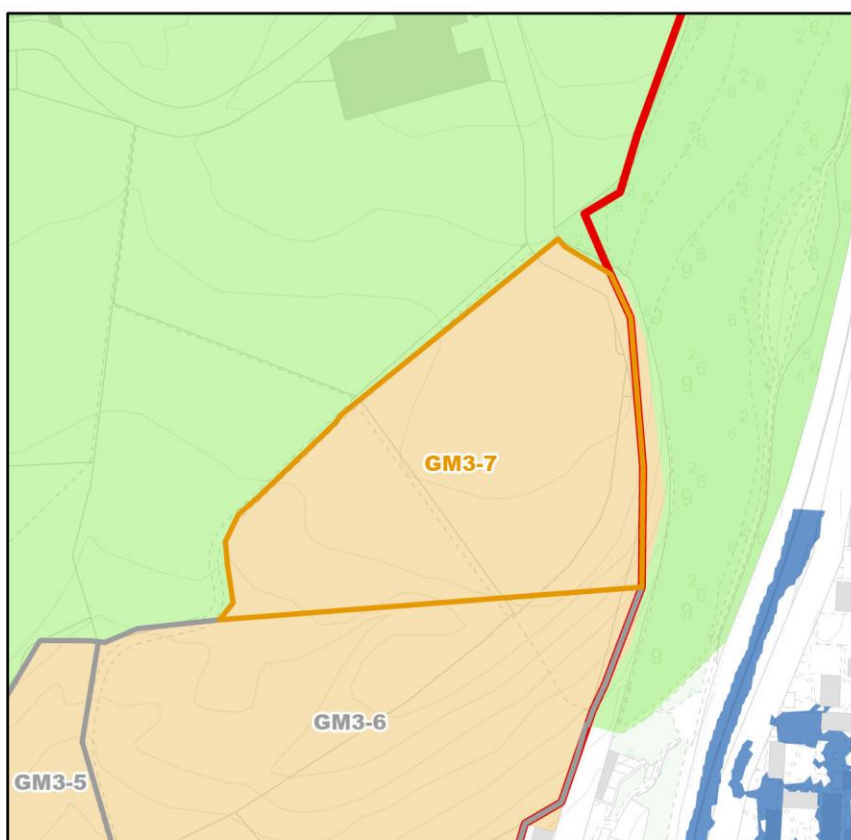
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, as well as a relatively limited impact on preventing the merger of towns and a moderate impact on protecting the setting and special character of historic settlements. It would also constitute a minor weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as moderate-high.

GM3-7



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM3-7

Area Description

Open fields on elevated land sloping up to the north. The sub-area contains no significant urbanising influences that could diminish openness and, although located within a wider area contained by inset settlement edges, the size of the area is such that there is no sense of containment within the sub-area. The steeply sloping land to the south within the adjoining sub-area creates some distinction from the industrial estate on the urban edge to the south. There are no defined boundary features to mark the edge with the adjoining sub-area to the south, and a track provides limited distinction from the retained Green Belt land to the north.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Great Crompton forms part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is free of urbanising development and benefits from strong distinction on the urban edge, contributing to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

The sub-area does lie between the towns of Shaw & Crompton and Newhey and does slightly reduce that gap, but it is more closely related to the former and the elevated land of Bryney Heys hill remains as a significant separating feature.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

The absence of urbanising uses and strong distinction on the urban edge give this sub-area a strong relationship with surrounding open countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Significant

The open elevated slopes of Bryney Heys hill are a key element of the historic setting of the town of Shaw. Releasing this land would diminish this.

GM3-7

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM3-7

Impact on adjacent Green Belt

Rating: Minor

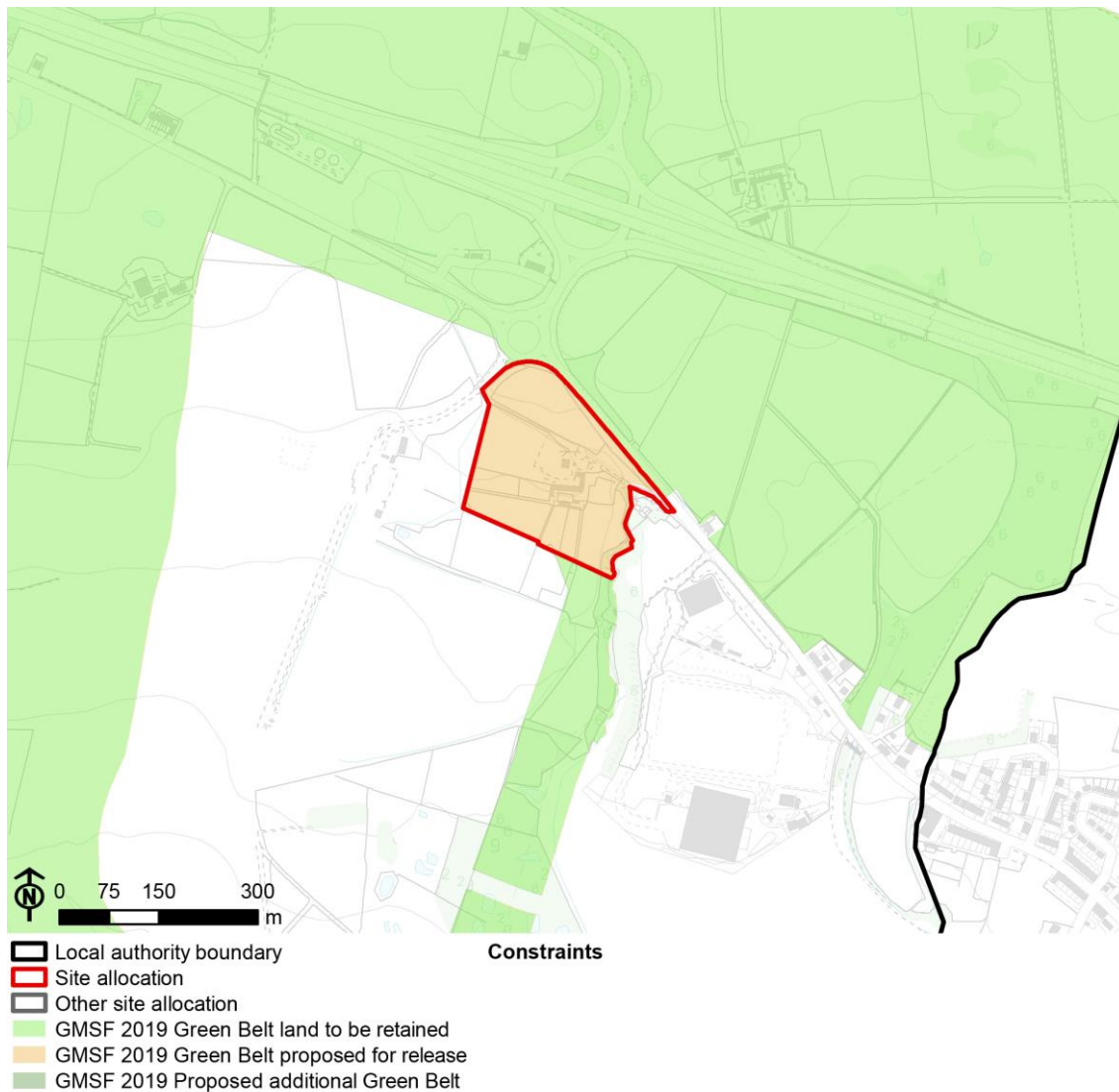
Release of the sub-area, as part of the release of the Allocation as a whole, would increase the containment of the steeply wooded retained Green Belt land at Dunwood Park to the east. However, as this land does not make a stronger contribution to the Green Belt purposes, its containment would not increase the harm of release. However, release would extend the inset area up the slopes to the south onto the elevated land within the sub-area, causing some weakening of the Green Belt boundary.

Overall harm to Green Belt purposes from release of land

High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, as well as a moderate impact on preventing the merger of towns and a relatively significant impact on protecting the setting and special character of historic settlements. It would also constitute a minor weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as high.

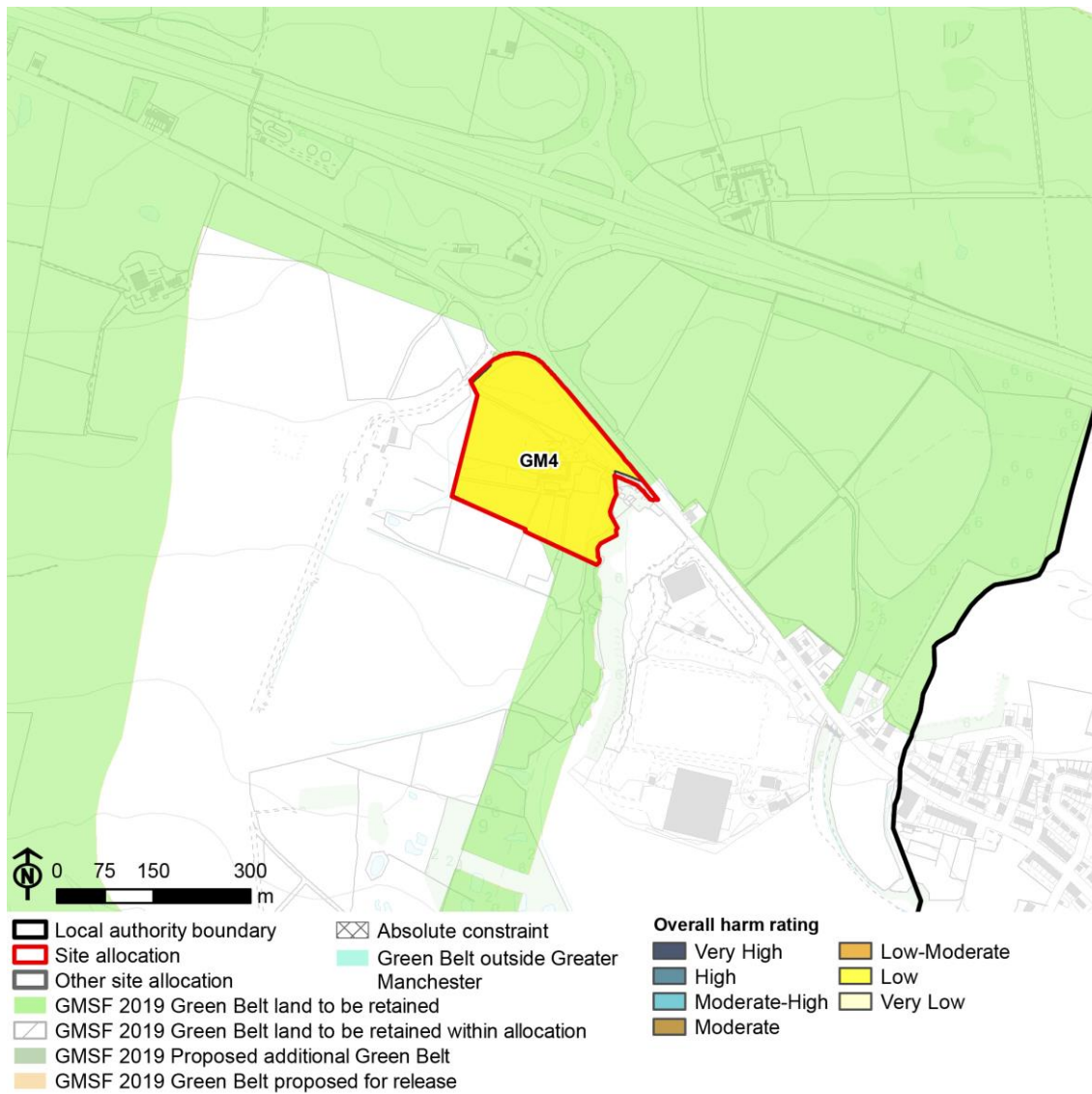
GM4 - Bewshill Farm



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Bewshill Farm and surrounding fields, lying west of Little Hulton, within the Metropolitan Borough of Bolton.

GM4



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GM4

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Low | 5.5 |
| Total Allocation area | 5.6 |

The Allocation comprises of a single farmstead surrounded by fields and small areas of scrub and woodland. The Allocation has limited distinction from the urban edge and the surrounding urban edge compromises the sense of openness within the Allocation. As such, the Allocation makes a relatively limited contribution to checking the sprawl of Greater Manchester.








Release of the Allocation would increase the containment of a narrow strip of retained Green Belt land to the south, but as this land does not make a stronger contribution to Green Belt purposes this would not increase the harm of release. Release would also result in a distinct and consistent boundary between the inset settlement and the Green Belt, which would be defined to the north and east by the A6 Salford Road and its associated tree buffer. Release of the Allocation would therefore result in low harm to Green Belt purposes.

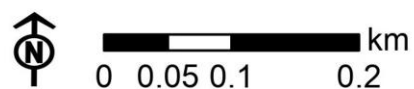
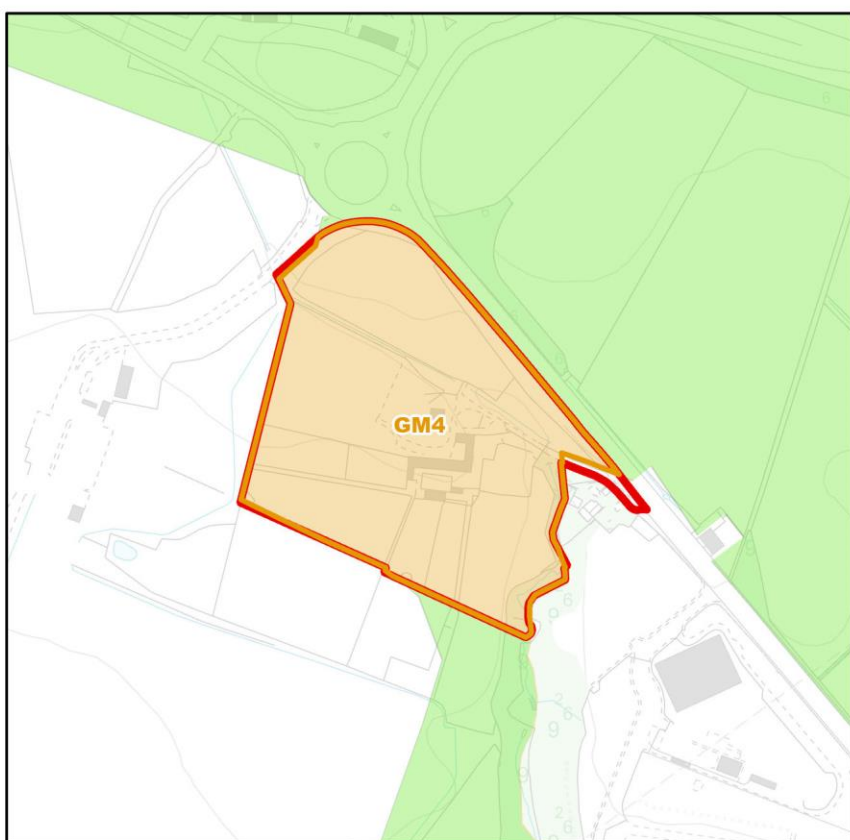
Potential to mitigate harm

The principal cause of harm from release of this allocation would be from the loss of the Green Belt land within the allocation itself, as opposed to its impact on retained Green Belt land, and harm is already low. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM4



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt



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GM4

Area Description

Single farmstead (Bewshill's Farm) surrounded by fields and small areas of scrub and woodland, adjacent to a logistics centre on the western edge of Little Hulton. The Allocation lies within the borough of Bolton but is close to the border with the City of Salford. The Allocation itself contains no urbanising development in Green Belt terms that would diminish openness, however the extent of its containment by the surrounding logistics estate compromises the sense of openness. In some areas, such as the tree-lined brook in the south east, the Allocation has some distinction from the inset edge, however elsewhere the boundary with the inset edge is only weakly defined. The A6 Salford Road provides strong distinction from adjacent retained Green Belt land to the north east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

Little Hulton is part of the large built-up area of Greater Manchester and the Allocation has a degree of openness due to the absence of development. However the land is largely contained and the lack of significant distinction on the urban edge limit its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

Given the extent of its containment by surrounding industrial uses, the Allocation effectively does not lie in the gap between neighbouring towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Limited/No

The release would encroach on land which, despite the absence of urbanising development, is too contained and associated with surrounding urbanising uses to be perceived as open countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM4

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM4

Impact on adjacent Green Belt

Rating: No/negligible

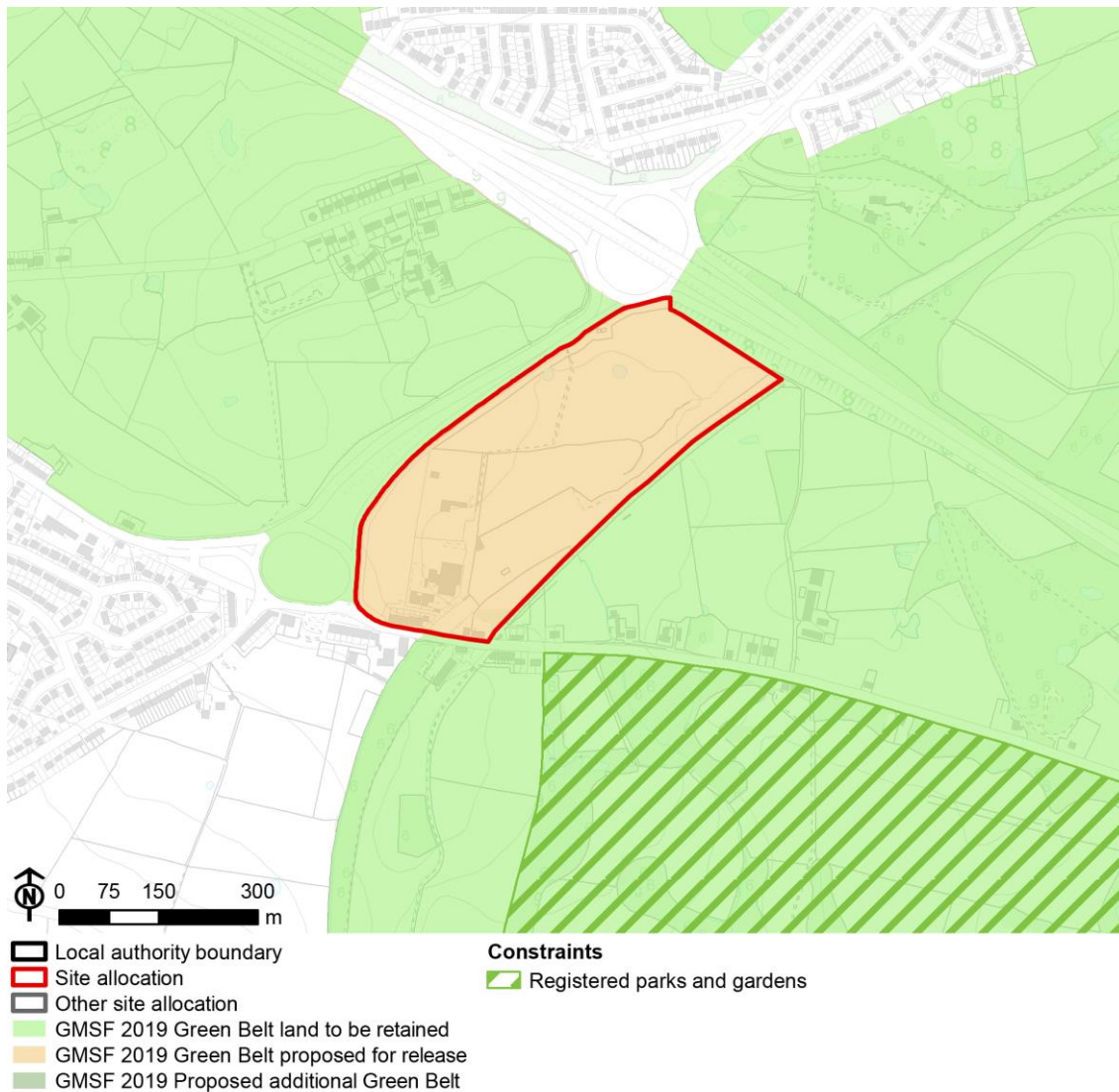
Releasing this land would truncate the strip of retained Green Belt land to the south, which separates the two clusters of industrial buildings, however the land in question does not make a significant contribution to Green Belt purposes, and as such this does not increase the harm from release. Due to the extent of its own containment, releasing this land would not increase the containment of any other retained Green Belt land. The release would also result in a distinct and consistent boundary between the inset settlement and the Green Belt, which would now be defined to the north and east by the A6 Salford Road and its associated tree buffer.

Overall harm to Green Belt purposes from release of land

Low

Release of the Allocation would constitute relatively limited sprawl and a negligible weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as low.

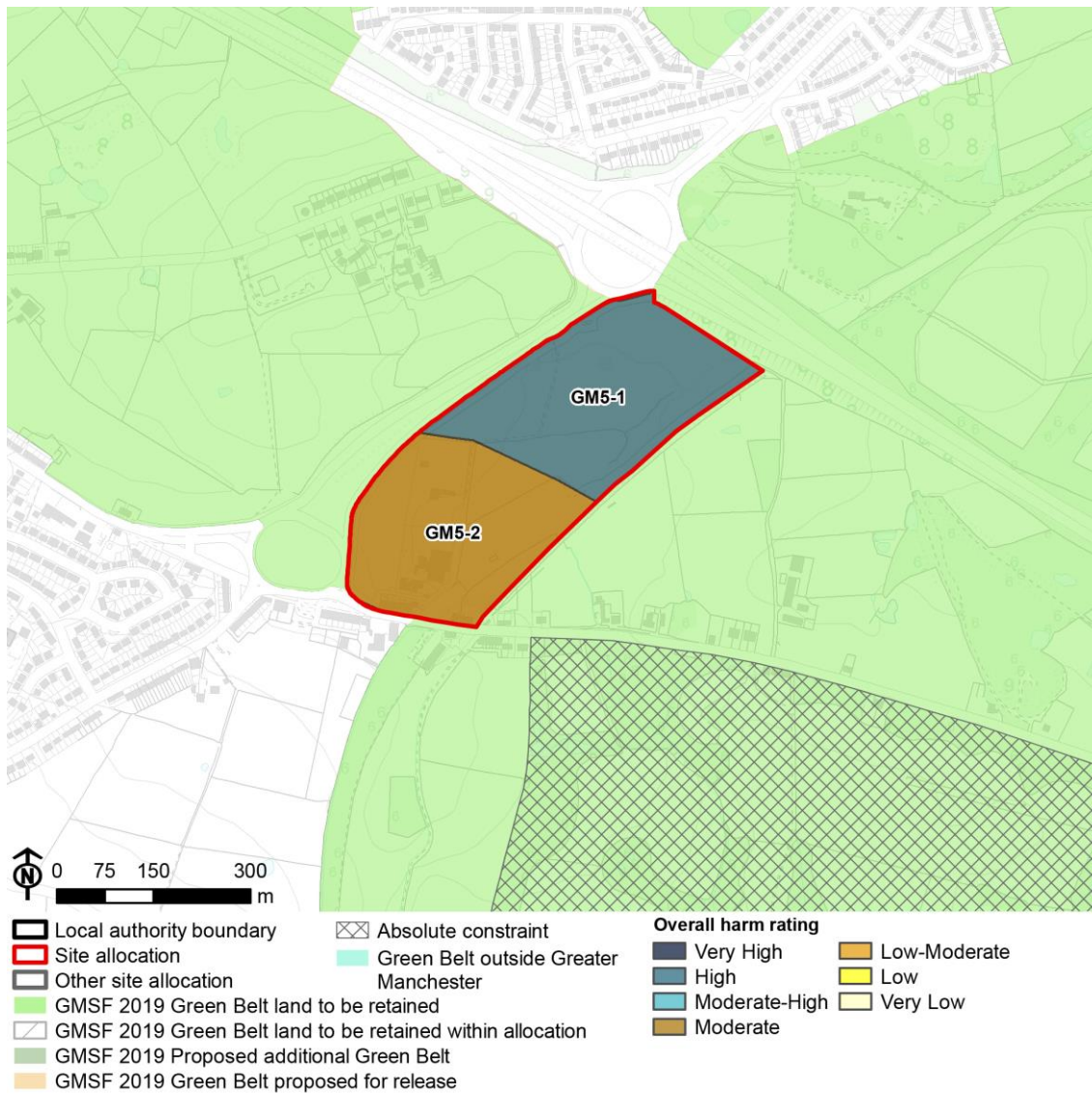
GM5 - Chequerbent North



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Recycling centre and surrounding land, between Chequerbent Roundabout and the M61, within the Metropolitan Borough of Bolton.

GM5



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GM5

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| High | 8.3 |
| Moderate | 7.5 |
| Total Allocation area | 15.8 |

GM5 is split into two sub-areas to reflect variations in harm to the Green Belt purposes.

Land predominantly comprises of farmland and a recycling centre, which compromises the degree of openness in the southwest of the Allocation. There is a degree of urbanising containment around the Allocation, however the land retains some distinction from the urban edges. The open farmland in the northeast of the allocation makes a relatively significant contribution to preventing the sprawl of Greater Manchester and the merger of Westhoughton and Hunger Hill, and Bolton beyond, and a moderate contribution to preventing encroachment on the countryside. The land at the recycling centre makes a lesser contribution.

Release of the Allocation would reduce the connectivity of surrounding retained Green Belt land, weakening the settlement gap between Westhoughton and Bolton. Release of the allocation would therefore result in high harm to Green Belt purposes.

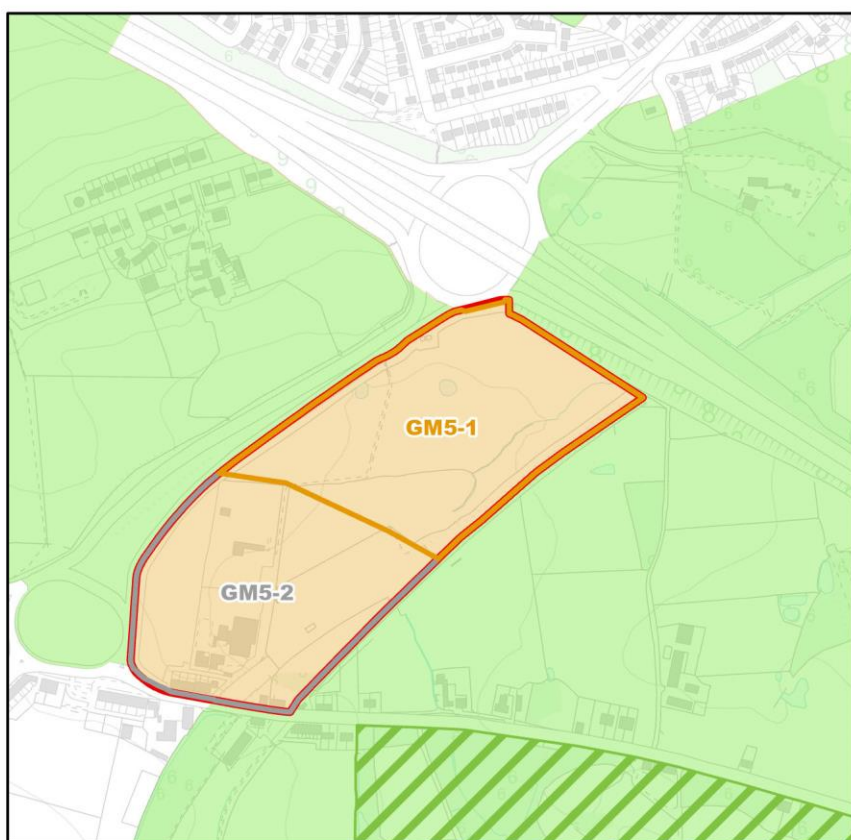
Potential to mitigate harm

The principal cause of harm from release of this allocation would be from the loss of the Green Belt land within the allocation itself, which will reduce wider Green Belt connectivity and impact the separation between settlements. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM5-1



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Registered parks and gardens



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GM5-1

Area Description

Farmland adjacent to the inset settlement of Hunger Hill, lying in the gap between the latter and Westhoughton. The sub-area is free of urbanising development and the inset edges to the north and south create a degree of containment. Although contiguous with inset land to the north at the M61 roundabout, the sub-area retains relatively strong separation from Hunger Hill, where the rising landform and tree cover alongside the M61, as well as the motorway itself, create visual and physical separation. The strong boundary formed by the A58 Snydale Way to the north west, slightly limits the relationship between the sub-area and the wider Green Belt, however elsewhere the sub-area has a relatively strong relationship with surrounding retained Green Belt land.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Hunger Hill is not part of the large built-up area of Greater Manchester but is close enough to have a relationship with it, and releasing this land would weaken the separation between Hunger Hill and the large built-up area, particularly given the sub-areas openness.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would significantly reduce the Green Belt gap between Westhoughton and the neighbouring Hunger Hill, which in turn has only narrow separation from Bolton. However the presence of the M61 Junction 5 roundabout and associated tree cover would retain some distinction between Westhoughton and Hunger Hill.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

The farmland within this sub-area is open in character, however the extent of containment by main roads limits the extent to which development would constitute encroachment on countryside.

GM5-1

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM5-1

Impact on adjacent Green Belt

Rating: Moderate

The Allocation has clearly defined boundary features, but its release would significantly reduce the connectivity of adjacent retained Green Belt land to the east and west, weakening the settlement gap between Westhoughton and Bolton. This sub-area constitutes most of the open land within the Allocation so its release, as part of the Allocation as a whole, would have a greater impact on the integrity of the adjacent Green Belt than the release of the development-dominated land at the southern end of the Allocation.

Overall harm to Green Belt purposes from release of land

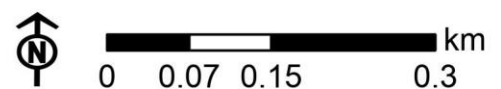
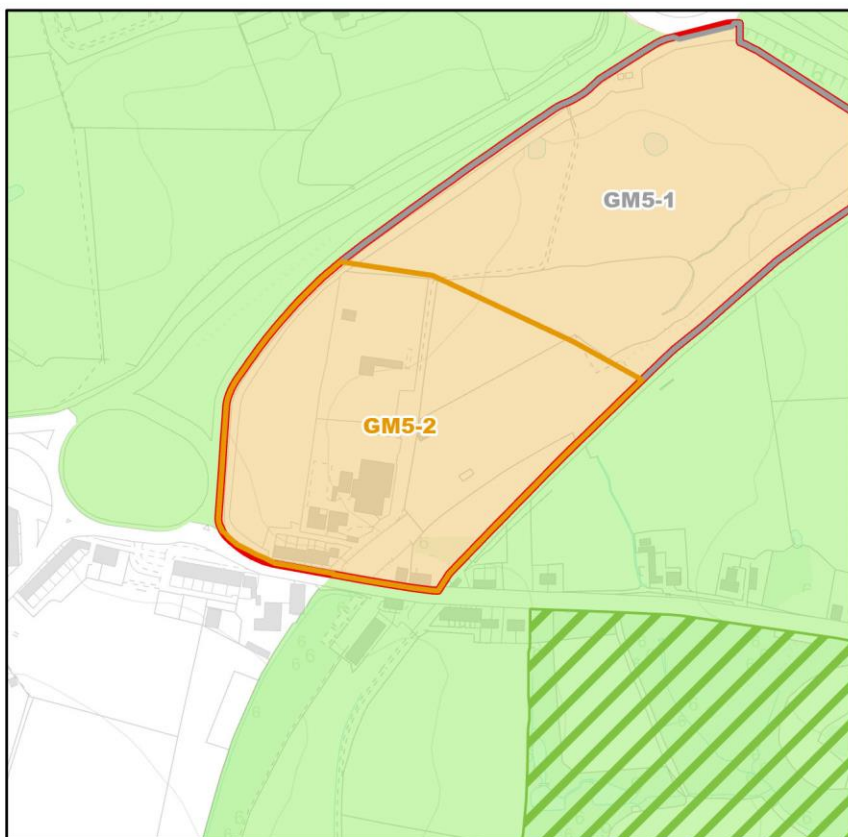
High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl, a relatively significant impact on preventing the merger of towns, and moderate encroachment on the countryside. It would constitute a moderate weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as high.

GM5-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Registered parks and gardens



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GM5-2

Area Description

Recycling centre together with associated hardstanding and adjacent open land, surrounded by open land, lying adjacent to Chequerbent Roundabout, on the inset edge of the settlement of Westhoughton. Development here would represent expansion of Westhoughton at Chequerbent. The recycling centre constitutes a relatively significant urbanising development, however there remains a sizeable area of open space but the surrounding development within Westhoughton and Hunger Hill create only a degree of urbanising containment. Although contiguous with inset land along the A6 to the south, the sub-area area retains a degree of separation from Westhoughton. Tree cover within and adjacent to the Chequerbent Roundabout creates distinction from the main urban area of Westhoughton, so the sub-area area has only a short frontage with inset development at Chequerbent. The presence of the inset settlement of Hunger Hill to the north limits the relationship between the sub-area and the wider Green Belt, however the area is perceived in the context of adjacent open retained Green Belt land in passing views from the M61.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Westhoughton is part of the large built-up area of Greater Manchester, however the existing development within the sub-area and the partial sense of containment limit the extent to which development would constitute unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would reduce the Green Belt gap between the Westhoughton and the neighbouring Hunger Hill, which in turn has only narrow separation from Bolton. However the sub-area's contribution is limited by the urbanising presence of the recycling centre.

GM5-2

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

While the sub-area contains some open and undeveloped grassland, the presence of the recycling centre and the extent of containment by main roads limits the extent to which development would constitute encroachment on countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM5-2

Impact on adjacent Green Belt

Rating: Minor

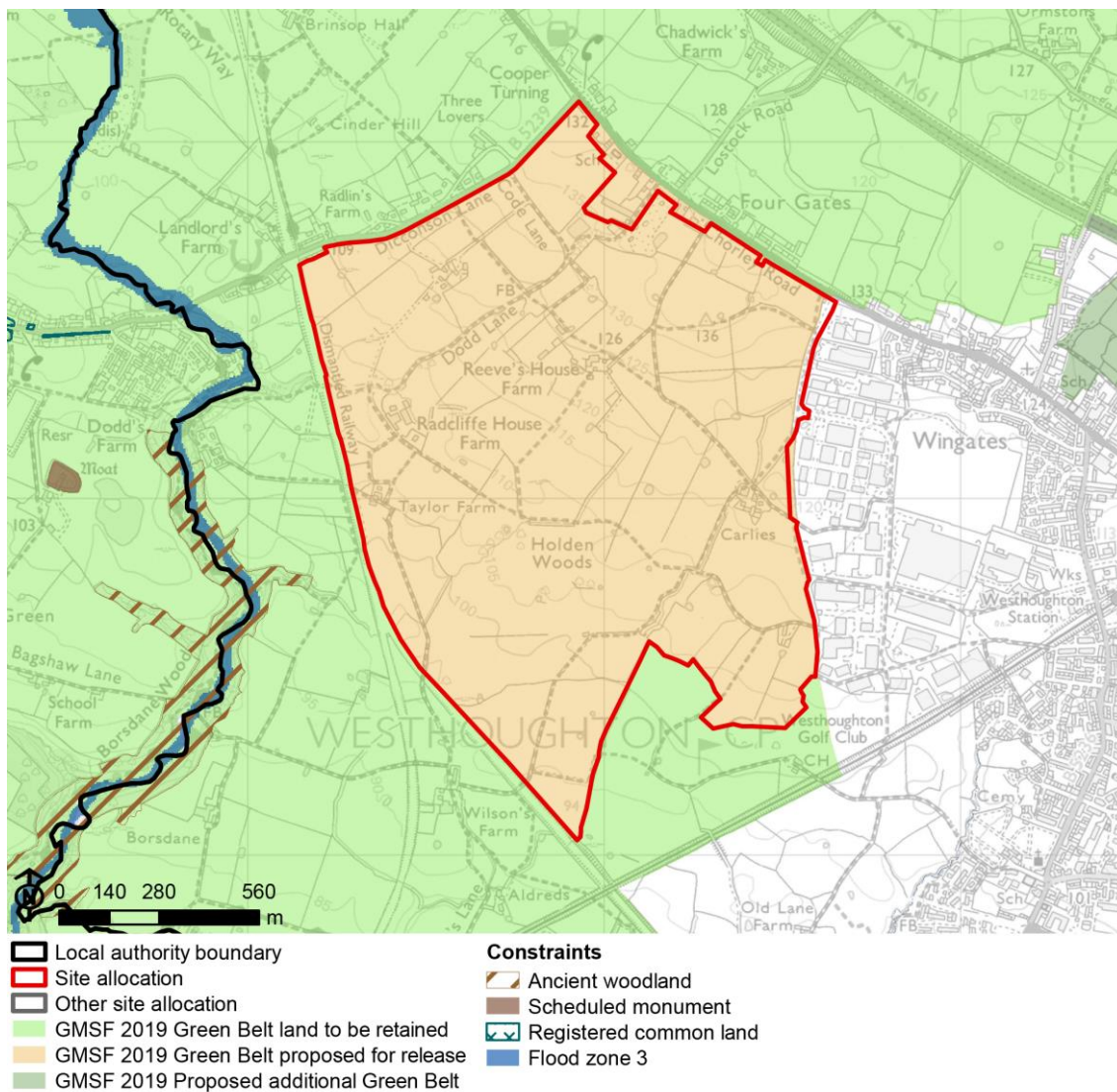
The Allocation has clearly defined boundary features, but its release would significantly reduce the connectivity of adjacent retained Green Belt land to the east and west, weakening the settlement gap between Westhoughton and Bolton. The presence of existing development within this sub-area limits the impact of its release, as part of the Allocation as a whole.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would have a moderate impact on preventing the merger of towns, and would constitute moderate sprawl and relatively limited encroachment on the countryside. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

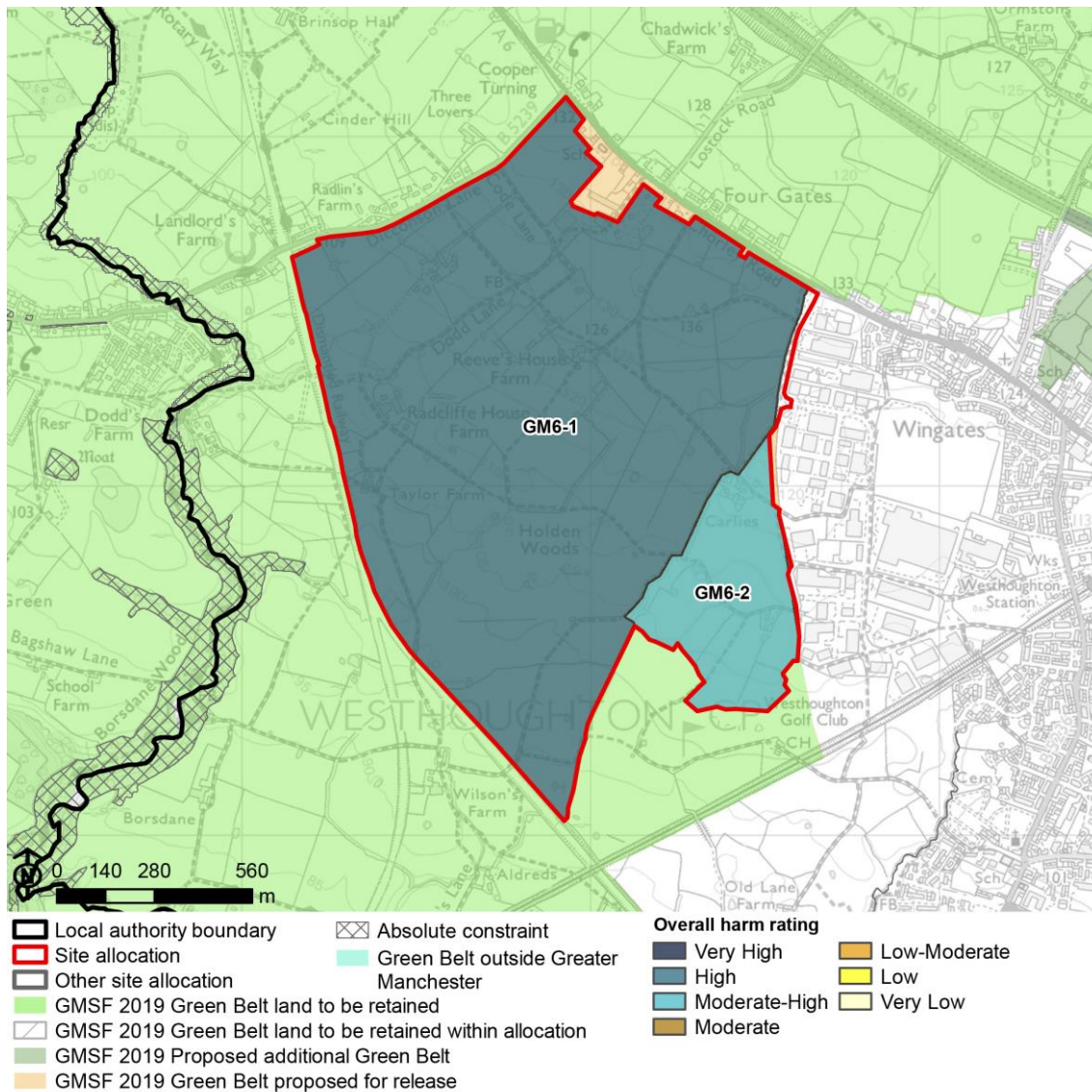
GM6 - West of Wingates / M61 Junction



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Farmland to the west of the Wingates Industrial Estate (Westhoughton), within the Metropolitan Borough of Bolton.

GM6



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GM6

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| High | 161.2 |
| Moderate-High | 21.5 |
| Total Allocation area | 183.7 |

GM6 is split into two sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation comprises of a patchwork of open fields, agricultural buildings and small woodland blocks. The Allocation is not significantly contained by urbanising development and has some distinction from the adjacent inset edge to the east. As such, the land makes a significant contribution to preventing the sprawl of Greater Manchester and encroachment on the countryside and, with the exception of the land located closer to the settlement edge, makes a relatively significant contribution to maintaining the separation of Wigan, Horwich and Aspull. In addition, the land makes a relatively significant contribution to the setting of Westhoughton.

Release of the Allocation would not weaken the Green Belt boundary, and would not result in the containment of any retained Green Belt land that makes a stronger role to Green Belt purposes. As the sub-area adjoins washed-over but urbanising linear development at Four Gates (just beyond the edge of West Houghton), there would be no justification for retaining the settlement's washed-over status, and its release would not increase harm.

However, release would reduce the separation between Westhoughton and washed over but urbanising development on the outskirts of Aspull, and would therefore constitute high harm to the Green Belt purposes.

Potential to mitigate harm

It is the loss of settlement gap distance, and the presence of existing linear development along the connecting route between the two settlements, that would weaken separation between Aspull and Westhoughton, rather than an

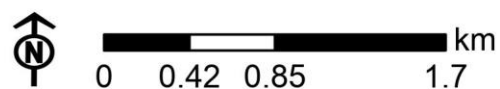
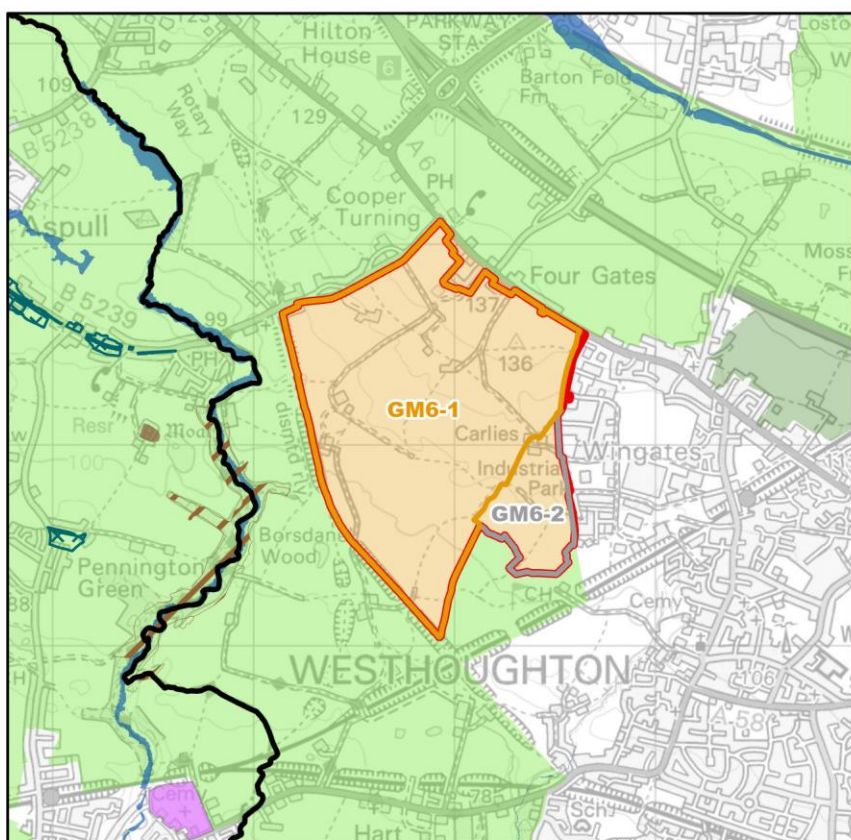
GM6

absence of intervening landscape features. Strengthening the Allocation boundary, which is already defined by a tree-lined former railway, would not therefore have much potential to mitigate harm.

GM6-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Ancient woodland
- Scheduled monument
- Cemetery
- Registered common land
- Flood zone 3



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GM6-1

Area Description

Patchwork of fields, agricultural buildings and small woodland blocks lying to the west of the Wingates industrial estate on the western edge of Westhoughton, close to the border with Wigan. The sub-area is open farmland, while washed-over development at Four Gates on the A6 and along the B5239 Dicconson Lane (the north western edge of the sub-area) constitutes only a minor urbanising influence. The sub-area is not significantly contained by any surrounding urbanising development. The eastern boundary is made up of a tree-lined brook and the edge of the industrial estate, which provides only limited distinction from urbanising uses in Westhoughton. The A6 Chorley Road, running along high ground on the northern boundary of the sub-area, creates some distinction from retained Green Belt land to the north, but the downward slope of the land to the south west means that there is relatively strong visual openness, beyond the former railway line that marks the extent of the Allocation area to that side.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Westhoughton is part of the large built-up area of Greater Manchester. The scale of development on the inset edge means that there is some relationship with the urban area, but there is no sense of containment to distinguish the sub-area, or any part of it, from the wider Green Belt, meaning that the land has a significant role in preventing unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would reduce existing separation from Wigan, Horwich and Aspull. Clear gaps, with strong separating features, would remain between Westhoughton and both Wigan and Horwich, but existing linear development along the B5239 would have slightly more impact on separation from Aspull.

GM6-1

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

This release would encroach on land which, despite the proximity of industrial uses, has a strong relationship with countryside to the west and south.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Significant

The land in this sub-area is an element of the setting of Westhoughton. Release of land would detract from this but would not affect key elements of historic character and setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM6-1

Impact on adjacent Green Belt

Rating: Minor

Releasing this sub-area, as part of the release of the Allocation as a whole, would mean that retained Green Belt land at Westhoughton Golf Club, on its southern boundary, would be largely contained by inset land. However, land within the Golf Club makes a weaker contribution to the Green Belt and as such its containment would not increase harm. As the sub-area adjoins washed-over but urbanising linear development at Four Gates (just beyond the edge of West Houghton), there would be no justification for retaining the settlement's washed-over status, but again this would not increase harm. On a wider scale, there would be no significant containment of any other retained Green Belt land, but reduced separation between Westhoughton and washed-over but urbanising development on the outskirts of Aspull would constitute a minor impact on retained Green Belt land. The release of the sub-area, as part of the release of the Allocation as a whole, would not lead to a significant difference in strength of the Green Belt boundary, which would subsequently be defined to the north by the B5239, to the southeast by the tree lined edge of the golf club, and to the west by a disused railway line that already marks the inset settlement edge at Dobb Brow.

Overall harm to Green Belt purposes from release of land

High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside. It would have a relatively significant impact on preventing the merger of towns and a relatively significant impact on the setting and special character of historic towns, and would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as high.

GM6-2

Area Description

Triangle of undulating farmland lying between the western edge of the adjacent Wingates industrial estate (on the western edge of Westhoughton), and the Long Island Golf Course immediately to the south. The sub-area consists of open farmland which is free of urbanising influences and is not significantly contained by any surrounding urbanising development. The tree-lined edge of the industrial estate to the east provides limited distinction from urbanising uses in Westhoughton. The boundary with the adjoining sub-area to the west and south is defined by a tree lined brook and hedgerows, and to the south hedgerows and some tree lines create limited distinction from the adjoining golf course, which is proposed to be retained within the Green Belt.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Westhoughton is part of the large built-up area of Greater Manchester. The scale of development on the inset edge means that there is some relationship with the urban area, but there is no sense of containment to distinguish the sub-area, or any part of it, from the wider Green Belt, meaning that the land has a significant role in preventing unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

This open land lies in the gap between Westhoughton and Wigan, Horwich and Aspull. However the sub-area does not extend significantly beyond the existing western extent of Westhoughton and as such would not significantly threaten the gap with neighbouring towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

This release would encroach on land which, despite the proximity of industrial uses, is open and has a strong relationship with countryside to the west and south.

GM6-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Significant

The land in this sub-area is an element of the setting of Westhoughton.

Release of land would detract from this but would not affect key elements of historic character and setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM6-2

Impact on adjacent Green Belt

Rating: No/Negligible

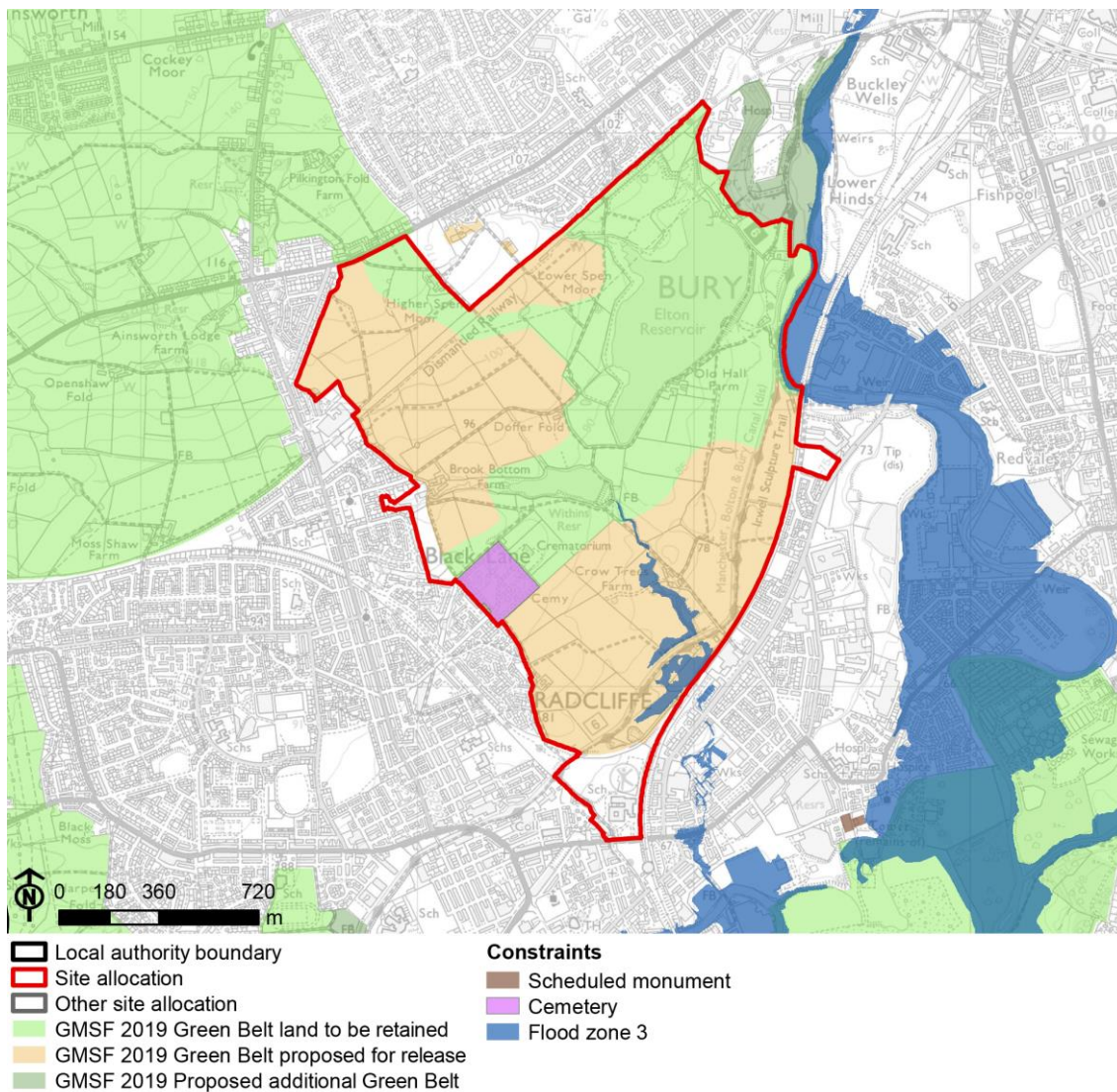
Release of the sub-area, as part of the release of the Allocation as a whole, would lead to the increased containment of the land at Long Island Golf Course to the south and the creation of a more convoluted Green Belt boundary in this location. However, this land is already contained to an extent by the surrounding inset edge, limiting the role of this land, and as such its containment and weakening of Green Belt boundaries in this location would not increase the harm of release. Release of the sub-area, as part of the release of the Allocation as a whole, would not increase the containment of any other Green Belt land and would have no bearing on the strength of retained Green Belt land to the west, as the release of the Allocation as a whole would not weaken the distinction between inset settlement and this retained Green Belt land.

Overall harm to Green Belt purposes from release of land

Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside. It would have a relatively significant impact on the setting and special character of historic towns, and a moderate impact on preventing the merging of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

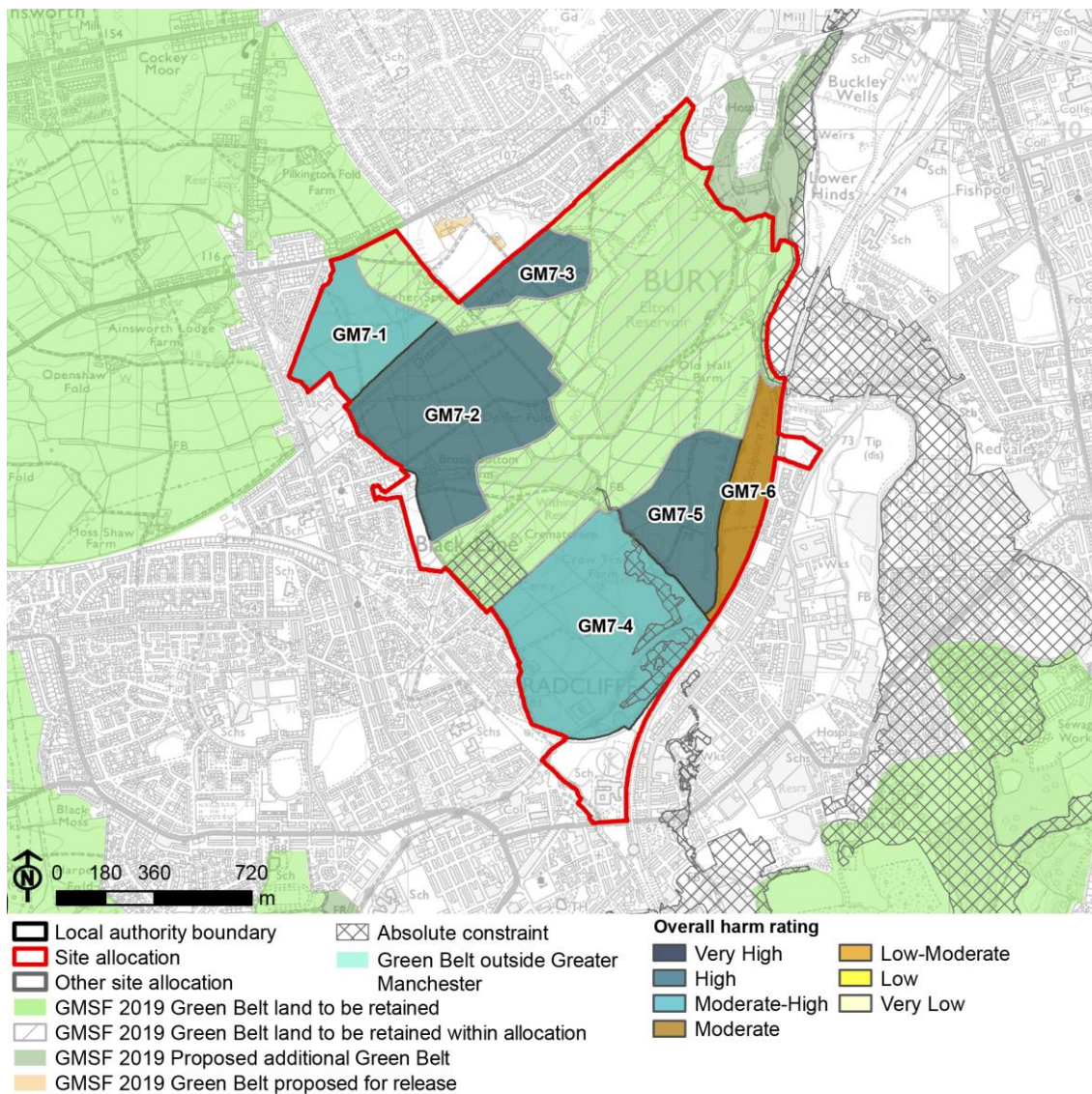
GM7 - Elton Reservoir



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Land surrounding Elton Reservoir, located between Bury and Radcliffe and within the Metropolitan Borough of Bury.

GM7



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GM7

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| High | 60.3 |
| Moderate-High | 56.2 |
| Moderate | 10.3 |
| Retained Green Belt | 112.7 |
| Total Allocation area | 251.7 |

GM7 is split into six sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation is open and predominantly comprises of farmland surrounding reservoirs. Although nearly entirely surrounded by inset development, its size is such that within much of the Allocation there is limited sense of urbanising containment. However, parts of the Allocation retain limited distinction from the urban edge. As such, land within the Allocation makes a moderate to significant contribution to preventing the sprawl of Greater Manchester and encroachment of the countryside, and a relatively limited to relatively significant contribution to maintaining the separation of Bury and Radcliffe.

It is proposed to retain some Green Belt land within the Allocation in the north, a block to the west, and a narrow strip connecting to the wider Green Belt to the northwest. This would maintain some localised separation between Bury and Radcliffe, but the contribution of this retained Green Belt land would be diminished as a result of some weakening of the Green Belt boundary, increased urbanising containment and a reduction in connectivity with the wider Green Belt. However, due to the extent of containment of the Allocation by inset settlement, its release would not impact the wider Green Belt outside of the Allocation. Release of the Allocation would constitute high harm to Green Belt purposes.

GM7

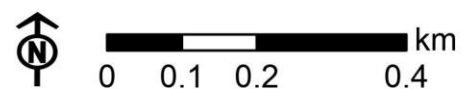
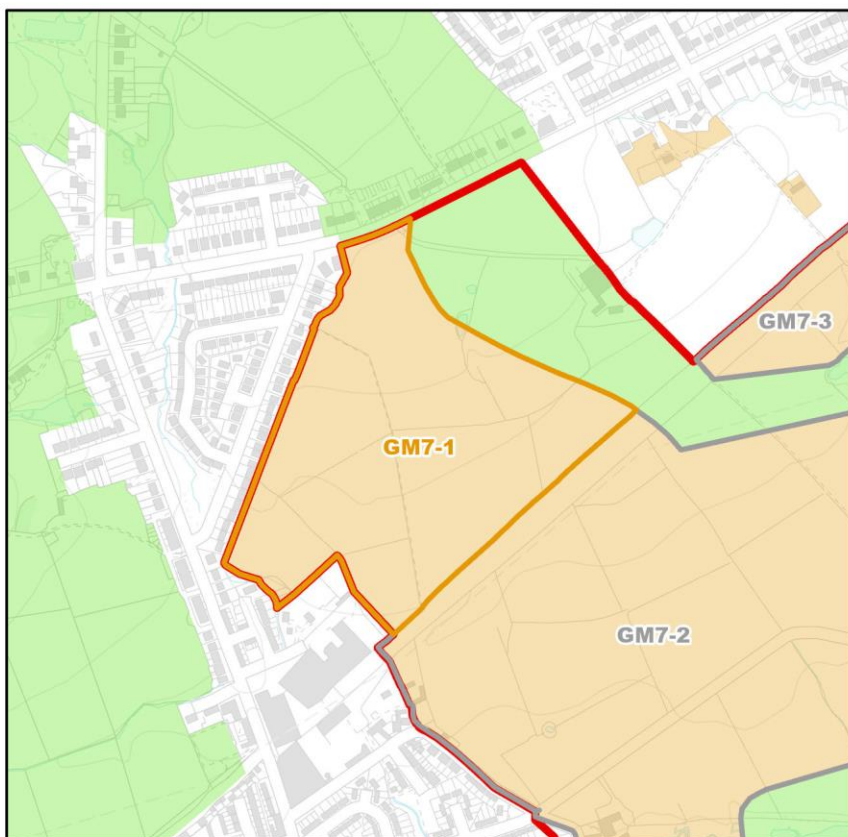
Potential to mitigate harm

Strengthening the boundary of the retained Green Belt land within the Allocation could potentially increase the future distinction between inset land and retained Green Belt land. This could help to preserve its role in maintaining some separation between Bury and Radcliffe.

GM7-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt



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GM7-1

Area Description

Farmland at Higher Spen Moor, adjacent to the inset edge of Radcliffe along Grindsbrook Road. There is no development located within the sub-area. The sub-area is bordered by inset urban development to the west, by washed-over residential development along the A58 Bury and Bolton Road to the north, and the inset edge of Bury is located to the east, creating a degree of urbanising containment. Garden boundaries form the inset settlement edge, with no significant change in landform, creating no significant distinction between the sub-area and the urban edge. Bury and Bolton Road, the northern side of which is lined by washed-over residential development, forms a clear boundary with the retained Green Belt land to the north, whilst there are no defined boundary features to mark the edge of the sub-area adjoining the narrow strip of retained Green Belt land to the east. To the south a track and associated vegetation along a disused railway line marks a distinction between this area and the rest of the Allocation. The rest of the Allocation is contained by inset development.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Radcliffe is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. Although the area has no urbanising development to diminish openness, the area has a degree of urbanising containment and landform and land cover do not create any significant distinction from the adjacent urban edge, limiting the role of the sub-area in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing the land within the sub-area would significantly reduce the gap between Bury and Radcliffe in this locality, but the towns are already linked to a degree along the A58 along the north of the sub-area and to the southeast of the Allocation, and would retain greater separation elsewhere via retained Green Belt land within the remainder of the Allocation.

GM7-1

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing this sub-area would encroach on open farmland which is perceived as countryside. However, the area has a degree of urbanising containment and landform and land cover do not create any significant distinction from the adjacent urban edge, limiting the role of the sub-area in preventing encroachment.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM7-1

Impact on adjacent Green Belt

Rating: Minor

Although the retained Green Belt land bounding the north of the sub-area contains washed-over development along the A56, this development is relatively limited, comprising of a single line of residential dwellings. As such, release of the sub-area, as part of the release of the Allocation as a whole, would reduce the connectivity between the wider Green Belt to the north and the retained Green Belt land within the remainder of the Allocation. The strip of Green Belt land providing this connectivity would be largely contained by inset settlement boundaries and washed-over development, which would weaken its contribution to the Green Belt purposes. There is no physical landscape feature to mark the proposed boundary along the eastern edge of the sub-area, but this would not represent any significant weakening in distinction given that the existing Green Belt boundary is only defined by residential garden boundaries.

Overall harm to Green Belt purposes from release of land

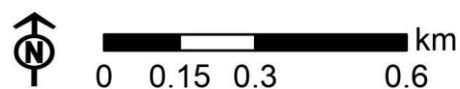
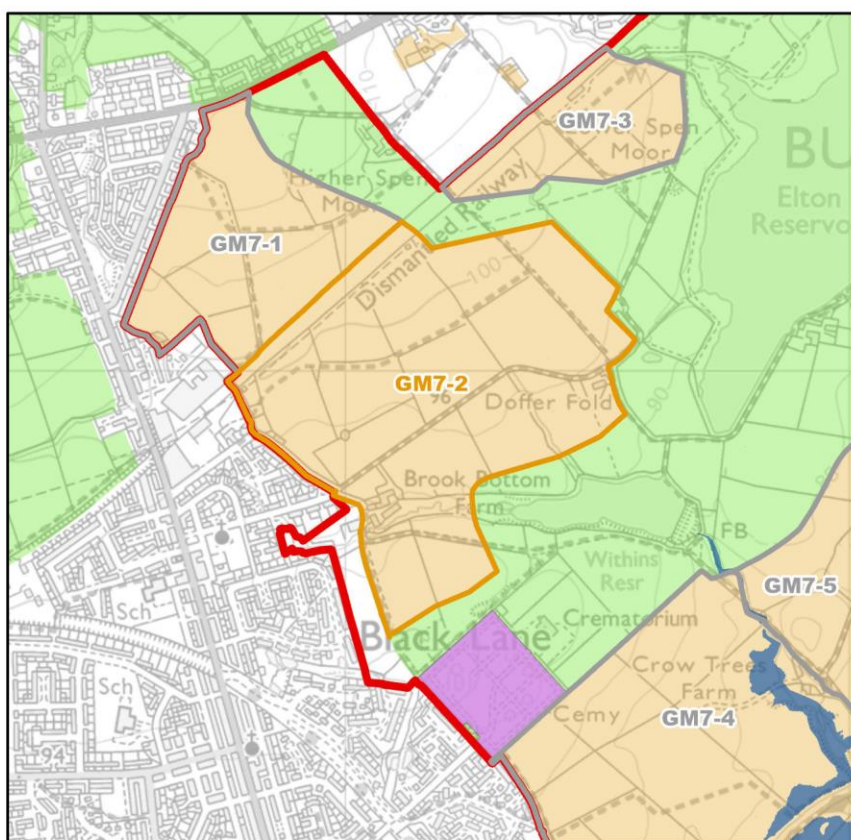
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as moderate-high.

GM7-2



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Cemetery
- Flood zone 3



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GM7-2

Area Description

Relatively flat farmland adjacent to Radcliffe, and to the north and west of Withins Reservoir. Farm buildings, which do not constitute an urbanising influence, are the only development in the sub-area. The residential garden boundaries and roads in Radcliffe form a boundary that represents no significant distinction between the urban area and sub-area. The edge of Bury is less than 0.6km away, creating a limited sense of containment. A disused railway line defines the edge of the sub-area with the adjoining sub-area to the north. There is no significant distinction between land in this sub-area and surrounding retained Green Belt land.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Bury is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. In addition, although the back garden boundaries and residential roads in Radcliffe do not create any significant distinction from the adjacent urban edge, the sub-area has no urbanising development to diminish openness and is uncontained by existing urban development.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would significantly reduce the gap between Bury and Radcliffe in this locality, however the towns are already linked to a degree along the A58 to the north of the sub-area and to the southeast of the Allocation, and would retain separation elsewhere via retained Green Belt land within the remainder of the Allocation.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this sub-area would encroach on open farmland which, despite a lack of distinction from the adjacent urban edge, is generally perceived as countryside.

GM7-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM7-2

Impact on adjacent Green Belt

Rating: Minor

Although release of the sub-area, as part of the release of the Allocation as a whole, would result in no significant change in the strength of distinction between the inset settlement and retained Green Belt, release would increase the containment of adjoining retained Green Belt land. This is particularly the case to the north, where the remaining narrow strip of open land connecting open land around Elton Reservoir to the wider Green Belt to the west would make a weakened contribution to the Green Belt purposes. However, the extent of containment of the Allocation as a whole means that there would be no impact on the integrity of the wider Green Belt.



Overall harm to Green Belt purposes from release of land

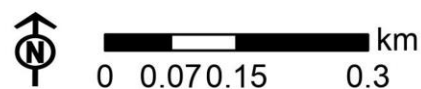
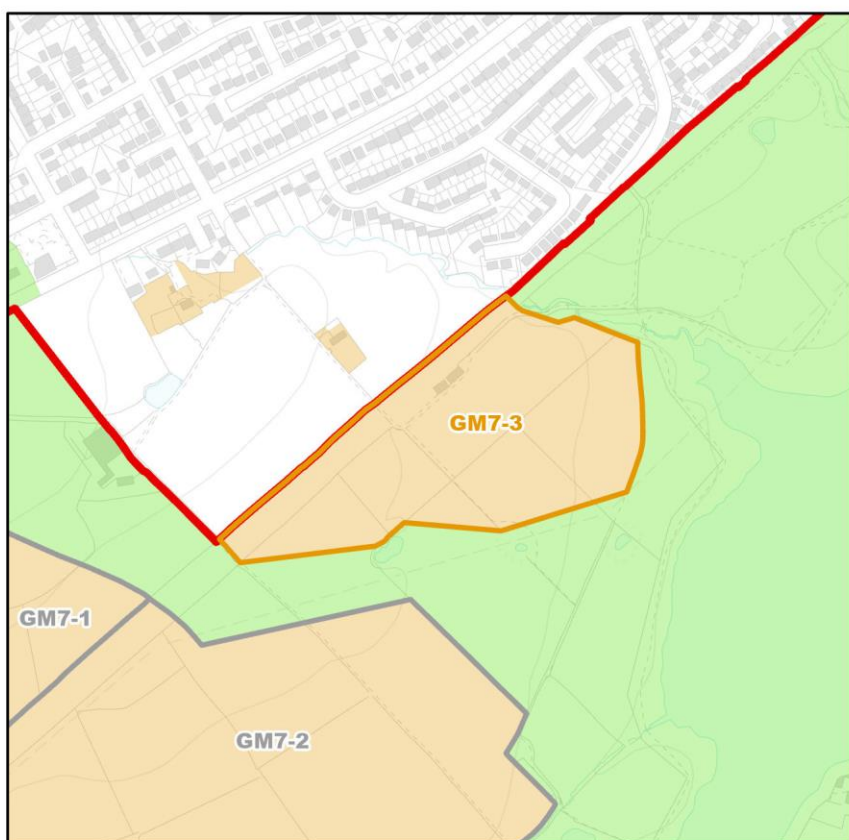
High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a relatively significant impact on preventing the merger of towns. It would also constitute a minor weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as high.

GM7-3



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt



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GM7-3

Area Description

Farmland at Lower Spen Moor, adjacent to the inset edge of Bury at the recent Tudor Grange housing development. The only development within the sub-area is a small group of buildings close to the inset settlement edge, which do not constitute a significant urbanising influence. A former railway line, relatively weakly vegetated along this sub-area but part of a consistent boundary feature, forms a stronger visual boundary to the north along the settlement edge. The Allocation as a whole is mostly contained by inset settlement edges, but its size is such that there is no sense of containment within the sub-area. With the exception of the tree-lined stream along the north eastern edge of the sub-area, there are no defined boundary features to mark the edge of the sub-area adjoining the surrounding retained Green Belt land within the Allocation.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Bury is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. In addition, the sub-area has no urbanising development to diminish openness, is uncontained by existing urban development, and the disused railway along the north of the sub-area creates a relatively strong distinction from the urban edge, contributing to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would not reduce the size of the existing gap between Bury and Radcliffe to the south of Tudor Grange, but would increase the frontage along which the towns share a limited gap, with no strong separating features.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

Releasing this land would encroach on open farmland which is perceived as countryside.

GM7-3

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM7-3

Impact on adjacent Green Belt

Rating: Minor

The degree of urban containment of the Allocation as a whole means that the release of this sub-area would have no significant impact on the wider Green Belt, but it would increase the containment of retained Green Belt land within the Allocation to the south and to the north-east, in particular the former where the narrow remaining strip between new inset edges would make a weakened contribution to the Green Belt purposes. However, this land does not play a stronger role in relation to Green Belt purposes and as such its containment would not increase the harm of release. Releasing the sub-area would result in a weakening of the consistent boundary distinction provided by the disused railway line, as there are no physical features to define the proposed inset edge.

Overall harm to Green Belt purposes from release of land

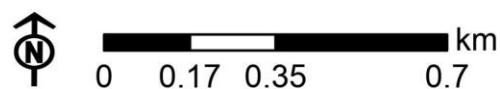
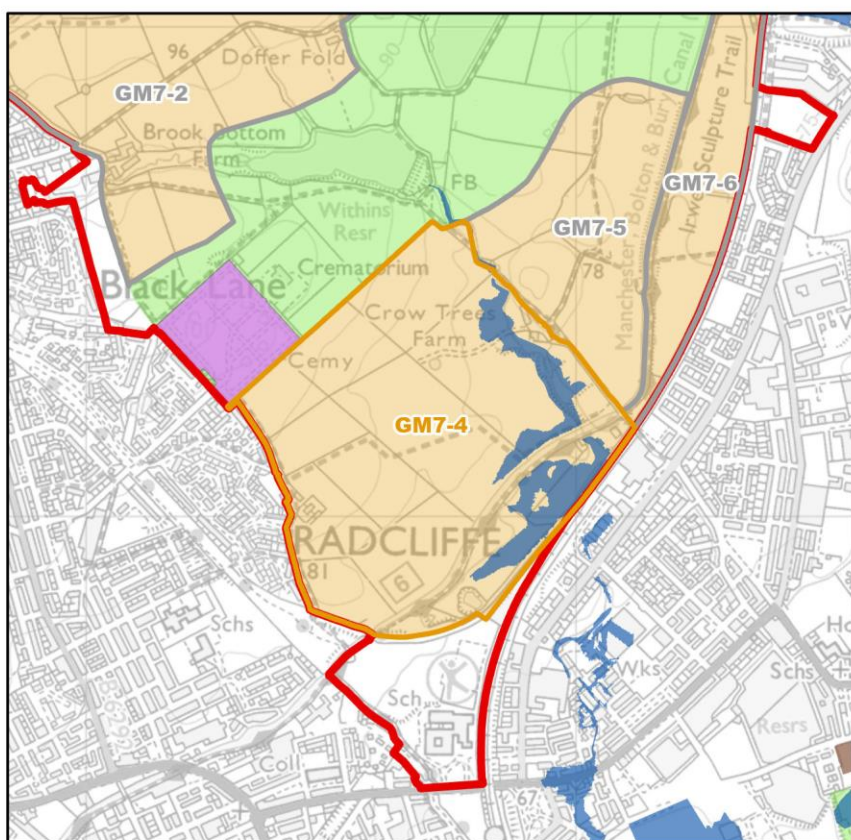
High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, and a relatively significant impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as high.

GM7-4



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Scheduled monument
- Cemetery
- Flood zone 3



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GM7-4

Area Description

Land to the north of Radcliffe, sloping gently down north eastwards towards Withins Reservoir and an associated watercourse. The sub-area mostly comprises of a patchwork of relatively small fields but also contains a few farm buildings. The single crematorium building adjoining the north of the sub-area is relatively well-contained by trees and hedgerows, and does not constitute a significant urbanising influence on the adjacent countryside. The residential garden boundaries in Radcliffe to the west of the Manchester, Bolton and Bury Canal face onto the sub-area with no significant distinction. To the east of the canal, tree cover and the railway line create a stronger physical and visual edge, but the proximity of development to the west results in a limited degree of containment. The field boundaries bounding the northwest of the sub-area create little distinction from the adjacent retained Green Belt land within the Allocation to the northwest. In addition, a watercourse in a shallow valley running east from Withins forms a boundary feature but does not represent any strong distinction from the adjoining sub-area to the northeast or retained Green Belt land to the north.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Bury is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. Although there is a limited sense of urban containment within the sub-area, it contains no urbanising development to diminish openness. However, although the canal, tree cover and the railway line creates some distinction from the adjacent urban edge, the scale of development within the inset settlement limits the sense of separation, limiting to a certain extent the role of the sub-area in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The sub-area does lie between the towns of Bury and Radcliffe, but is more closely related to the former. Other Green Belt land plays a stronger role in maintaining separation.

GM7-4

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this sub-area would encroach on open farmland which, due to the absence of urbanising uses and only limited sense of urban containment, is generally perceived as countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM7-4

Impact on adjacent Green Belt

Rating: Minor

Release of the sub-area, as part of the release of the Allocation as a whole, would increase the containment of retained Green Belt land to the north and northwest. However, the release would result in a Green Belt boundary of similar strength to the existing residential garden boundaries, being comprised of a watercourse within a shallow valley and field boundaries. The extent of containment of the Allocation as a whole means that there would be no impact on the integrity of the wider Green Belt.

Overall harm to Green Belt purposes from release of land

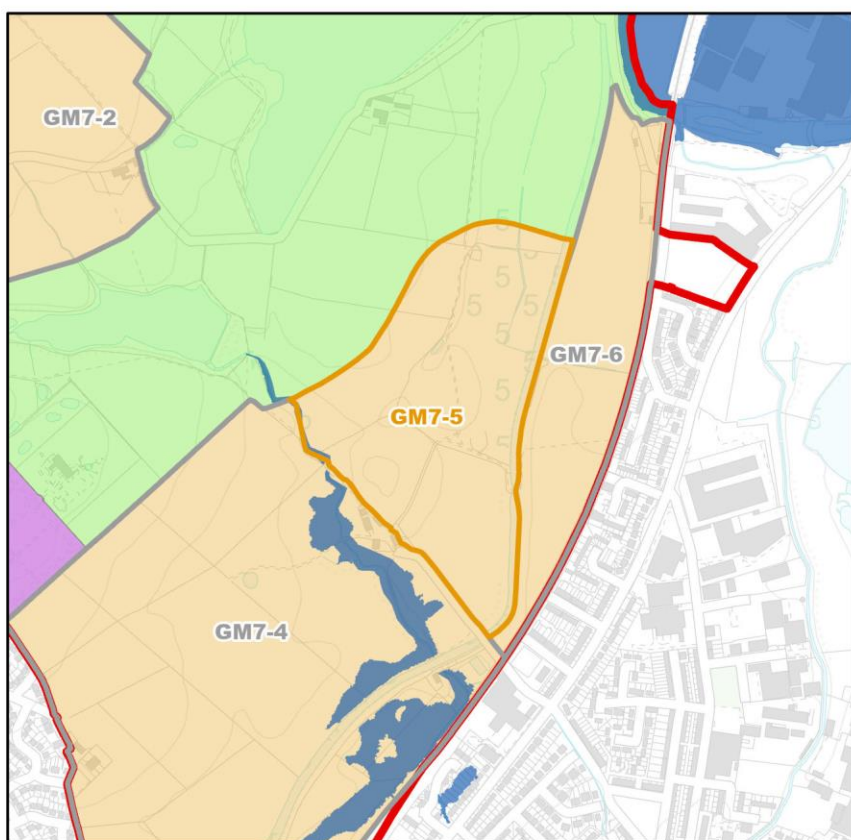
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. It would also constitute a minor weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as moderate-high.

GM7-5



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Cemetery
- Flood zone 3



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GM7-5

Area Description

Pastoral farmland to the west of the Manchester, Bolton and Bury Canal. There is no urbanising development present within the sub-area, and although the Allocation as a whole is mostly contained by inset settlement edges, its size is such that there is no sense of urban containment within the sub-area. To the south, a watercourse in a shallow valley running east from Withins Reservoir forms a boundary feature but does not represent any strong distinction from fields within the Allocation to the south, whilst the Manchester, Bolton and Bury Canal provides distinction between the adjoining sub-area and inset edge beyond to the east. However, there are no defined boundary features to the north of the sub-area to provide distinction from the adjoining retained Green Belt land within the Allocation.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Bury is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area has no urbanising development to diminish openness, is uncontained by existing urban development, and retains some distinction from the urban edge, which contributes to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

The sub-area does lie between the towns of Bury and Radcliffe, but is more closely related to the former. Other Green Belt land plays a stronger role in maintaining separation.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

Releasing this sub-area would encroach on open farmland that is perceived as countryside.

GM7-5

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM7-5

Impact on adjacent Green Belt

Rating: Minor

Releasing this sub-area, as part of the release of the Allocation as a whole, would increase the containment of retained Green Belt land within the remainder of the Allocation, and moving the Green Belt boundary west of the railway line and the canal would also result in a significantly weaker and less consistent distinction between the inset settlement and open land. However, the extent of containment of the Allocation as a whole means that there would be no impact on the integrity of the wider Green Belt.

Overall harm to Green Belt purposes from release of land

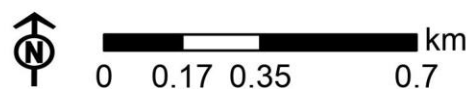
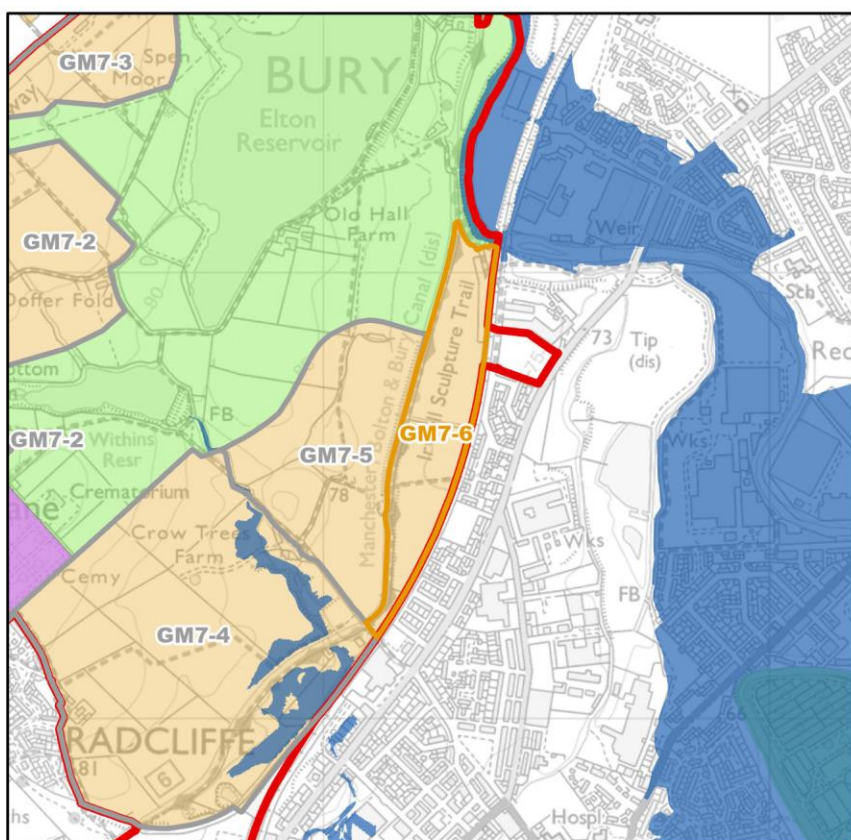
High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. It would also constitute a minor weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as high.

GM7-6



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Cemetery
- Flood zone 3



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GM7-6

Area Description

A narrow strip of land between the north eastern edge of Radcliffe and the Manchester, Bolton and Bury Canal. One small dwelling and some storage buildings are located within the sub-area but do not represent a significant urbanising influence. A railway line forms a consistent and distinct boundary between the sub-area and the inset settlement edge to the east, with a steep slope down to the River Irwell forming the short northern boundary, but the narrowness of the land between the urban edge and the canal, and the scale of the built development within the urban area, does limit the degree of distinction between the settlement and the sub-area. The Allocation as a whole is mostly contained by inset settlement edges, but its size is such that there is no sense of urban containment within the sub-area.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Bury is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area has no urbanising development to diminish openness, the railway line and River Irwell create relatively strong distinction from the urban edge, and there is limited sense of containment within the sub-area, factors which contribute to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The sub-area does lie between the towns of Bury and Radcliff, but is more closely related to the former. Other Green Belt land plays a stronger role in maintaining separation.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this sub-area would encroach on open land that has a limited sense of containment, but which is nonetheless perceived as countryside.

GM7-6

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM7-6

Impact on adjacent Green Belt

Rating: No/negligible

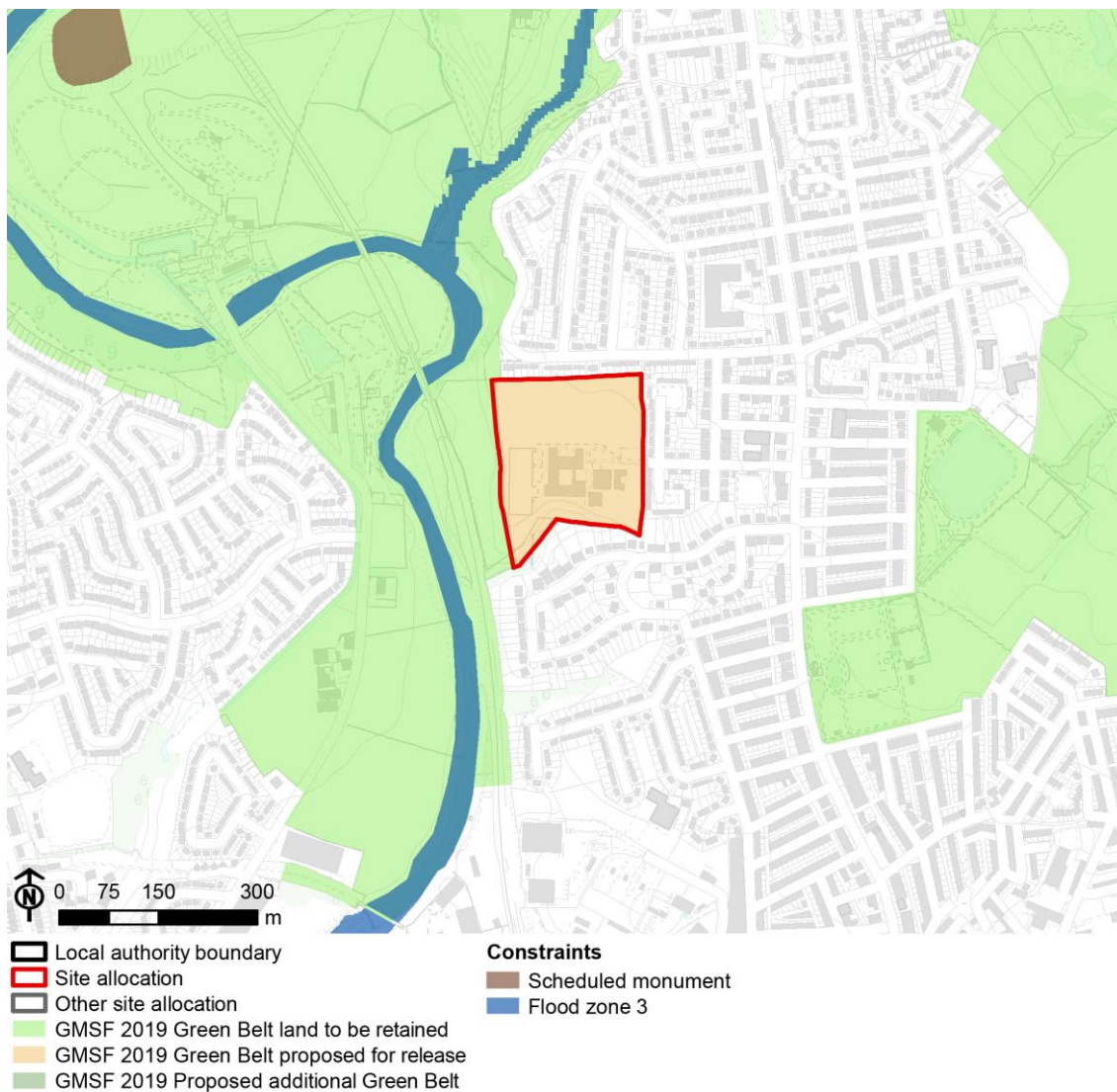
Due to the presence of the Manchester, Bolton and Bury Canal tightly bounding the west of the sub-area, releasing this sub-area would not increase the containment of any retained Green Belt land within the Allocation, and would not result in no significant change in strength of distinction between the inset settlement and retained Green Belt land. The extent of containment of the Allocation as a whole means that there would be no impact on the integrity of the wider Green Belt.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. It would constitute only a negligible impact on retained Green Belt land. Harm from release of the sub-area is therefore assessed as moderate.

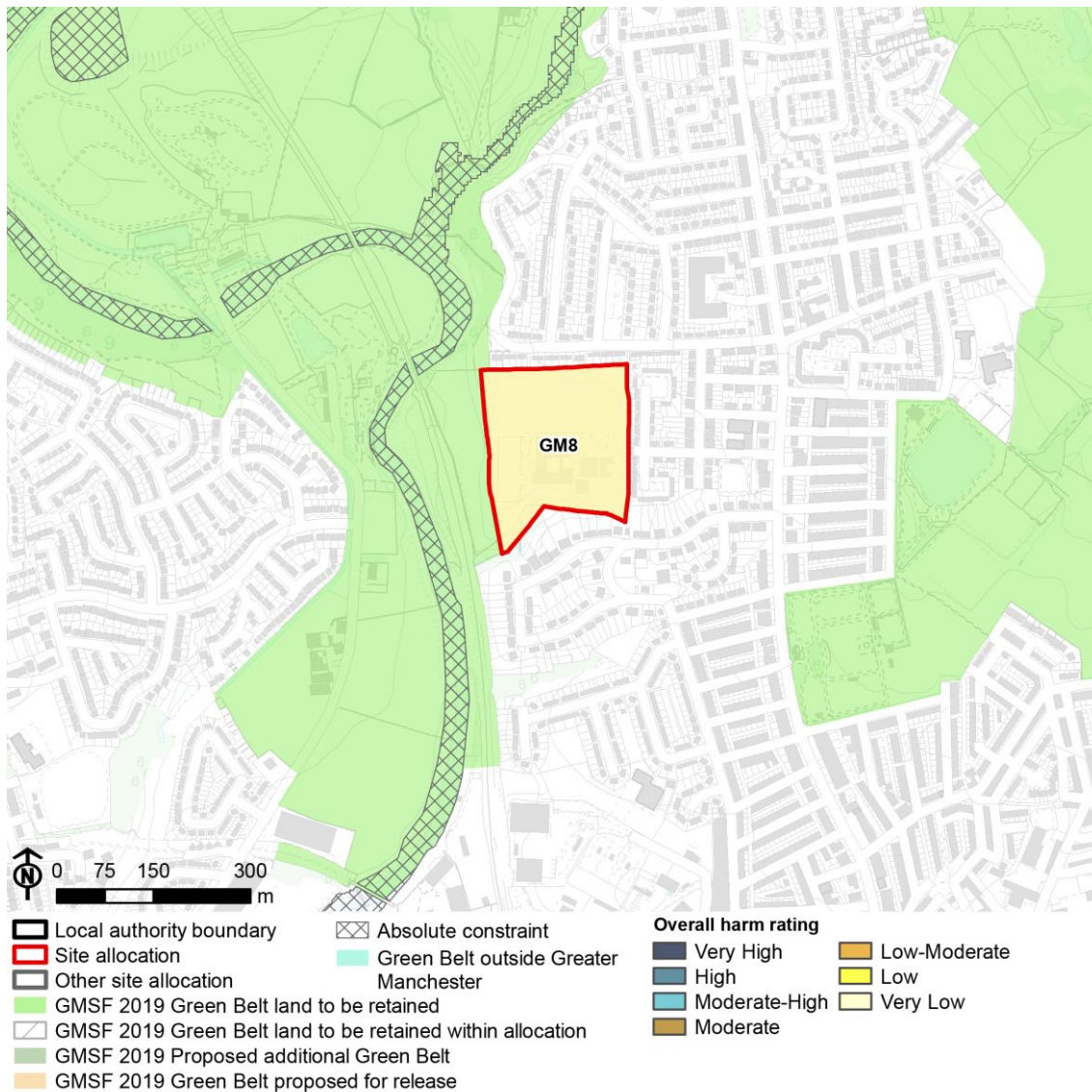
GM8 - Seedfield



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Seedfield Centre and surrounding land, on the northern edge of the settlement of Bury, within the Metropolitan Borough of Bury.

GM8



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GM8

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Very Low | 5.1 |
| Total Allocation area | 5.1 |

The Allocation comprises of Seedfield Centre sports complex. The buildings and hardstanding within the Allocation constitute significant urbanising development, while adjacent land is dominated by the built development but retains some openness. The surrounding inset edge creates urbanising containment within the Allocation and there is limited distinction between the urban edge and the Allocation. The land therefore makes a limited contribution to Green Belt purposes.

Release of the Allocation would not increase the containment of any retained Green Belt land and would result in a strong and consistent Green Belt boundary to the west, which would be defined by a woodland edge and bolstered by the railway line and the River Irwell. Release of the Allocation would therefore constitute very low harm to Green Belt purposes.

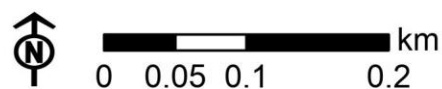
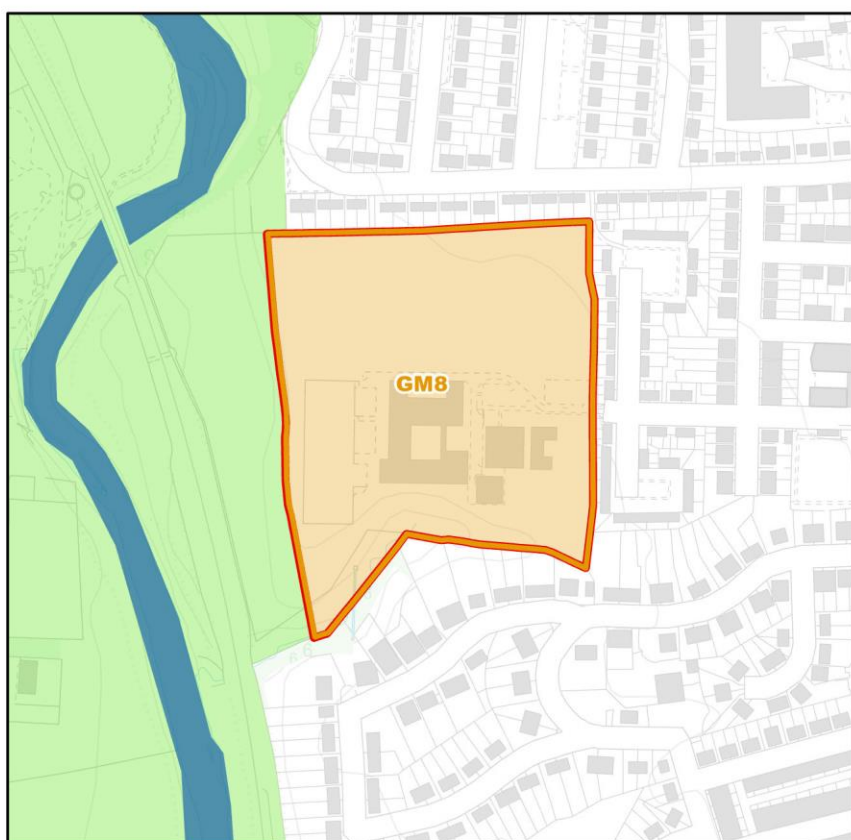
Potential to mitigate harm

Release of the Allocation would cause very low harm to Green Belt purposes, and as such no mitigation is proposed.

GM8



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM8

Area Description

Seedfield Centre sports complex buildings, associated hardstanding, pitches and a belt of trees, contained on three sides by the inset settlement edge of Bury. The buildings and hardstanding within the Allocation constitute significant urbanising development, while adjacent land is dominated by the built development but retains some openness. The Allocation is contained on three sides by urban development and residential garden boundaries provide minimal distinction on the urban edge. A dense woodland belt to the west creates strong distinction between the Allocation and the wider Green Belt.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Limited/No

Bury is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. However the existing development within the Allocation, in addition to its containment and the lack of significant distinction on the urban edge, significantly limit its ability to act in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

Given the extent of its containment by the settlement edge, this land does not lie in the gap between neighbouring towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Limited/No

Releasing this Allocation would encroach on land which, given the extent of its containment and the development within it, is already strongly associated with the urban area.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM8

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM8

Impact on adjacent Green Belt

Rating: No/negligible

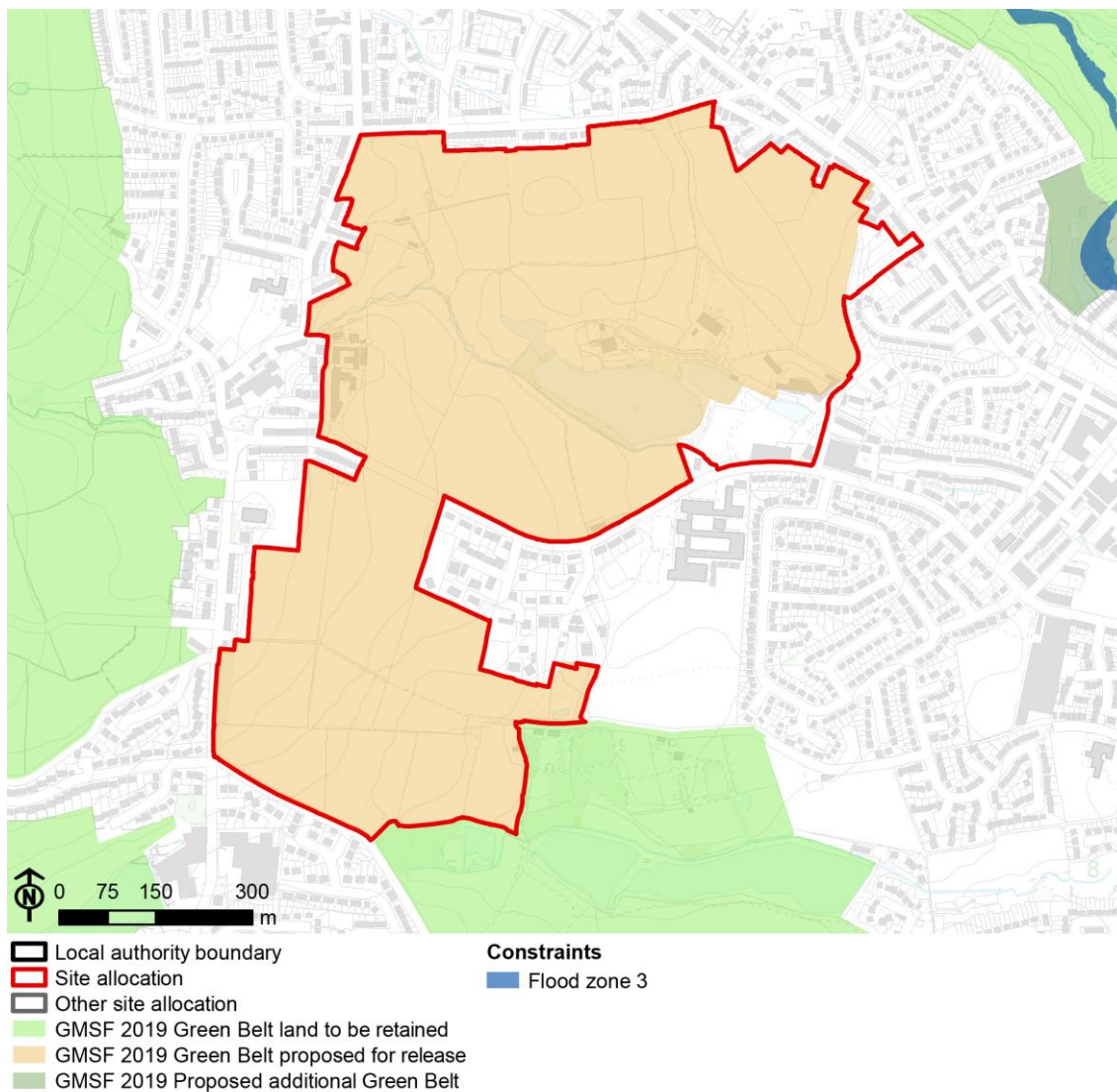
Given the extent of its own containment, the release of this land would not lead to the containment of any retained Green Belt land. The release would also lead to a strong and consistent Green Belt boundary to the west, which would be defined by a woodland edge and bolstered by the railway line and the River Irwell.

Overall harm to Green Belt purposes from release of land

Very Low

Release of the Allocation would have a relatively limited impact on all Green Belt purposes and a negligible impact on retained Green Belt land. Harm from the release of the Allocation is therefore assessed as very low.

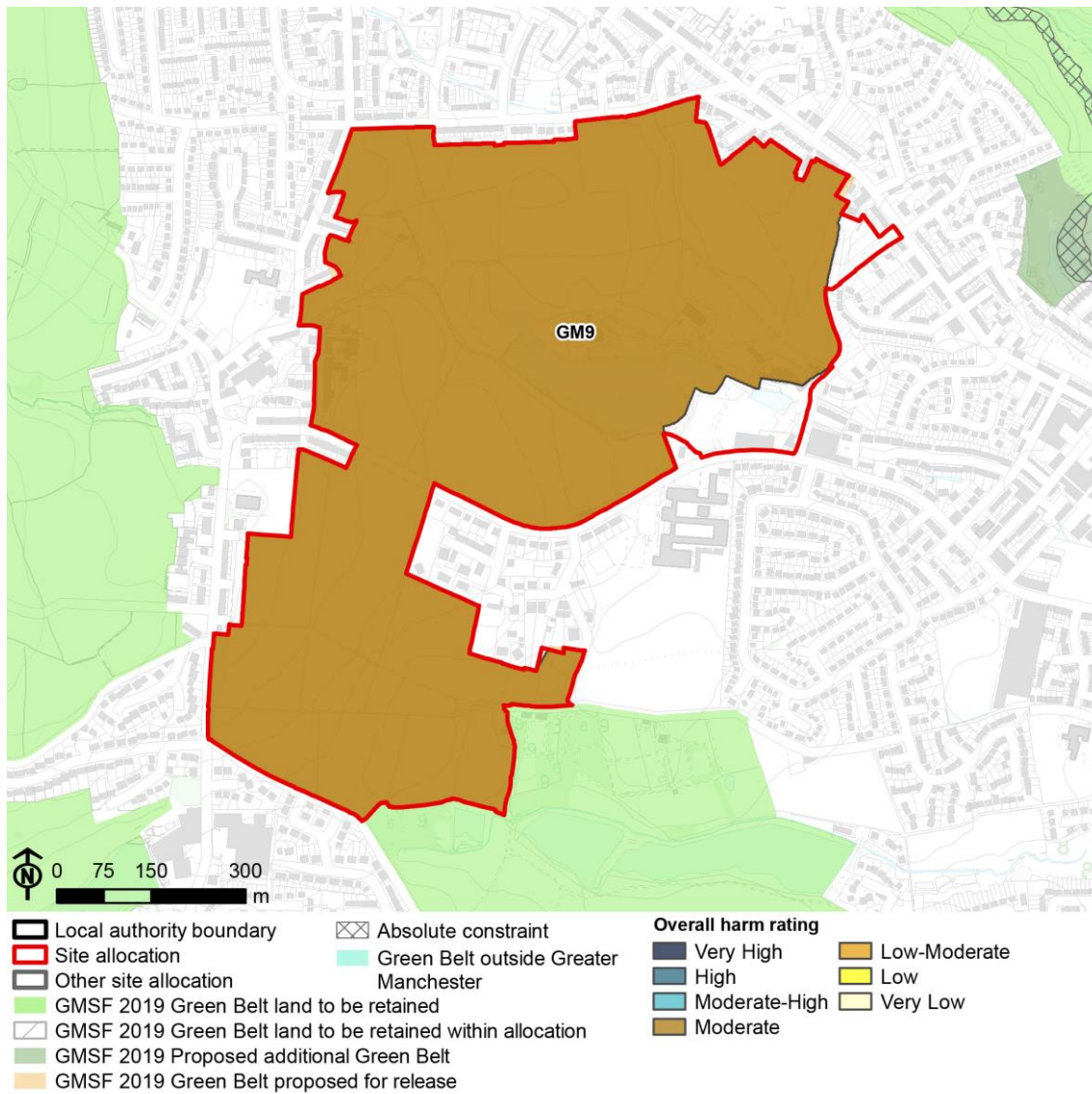
GM9 - Walshaw



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Open land at Walshaw, enclosed by the inset edge and lying between Bury and Tottington, within the Metropolitan Borough of Bury.

GM9



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GM9

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate | 61.3 |
| Total Allocation area | 64.1 |

The Allocation largely comprises of open farmland but, along with a smaller unallocated area to the southeast, is entirely contained by the urban edge and lacks significant distinction from it. The land therefore makes a moderate contribution to checking the sprawl of Greater Manchester and safeguarding the countryside from encroachment. Land also makes a relatively limited contribution to maintaining the separation of Bury and Tottington, which are already merged to a significant degree.









Releasing this Allocation would increase the containment of retained Green Belt land to the southeast, but this plays a similar role in relation to Green Belt purposes, and as such this does not increase the harm of release. Release of this Allocation would therefore cause moderate harm to Green Belt purposes.

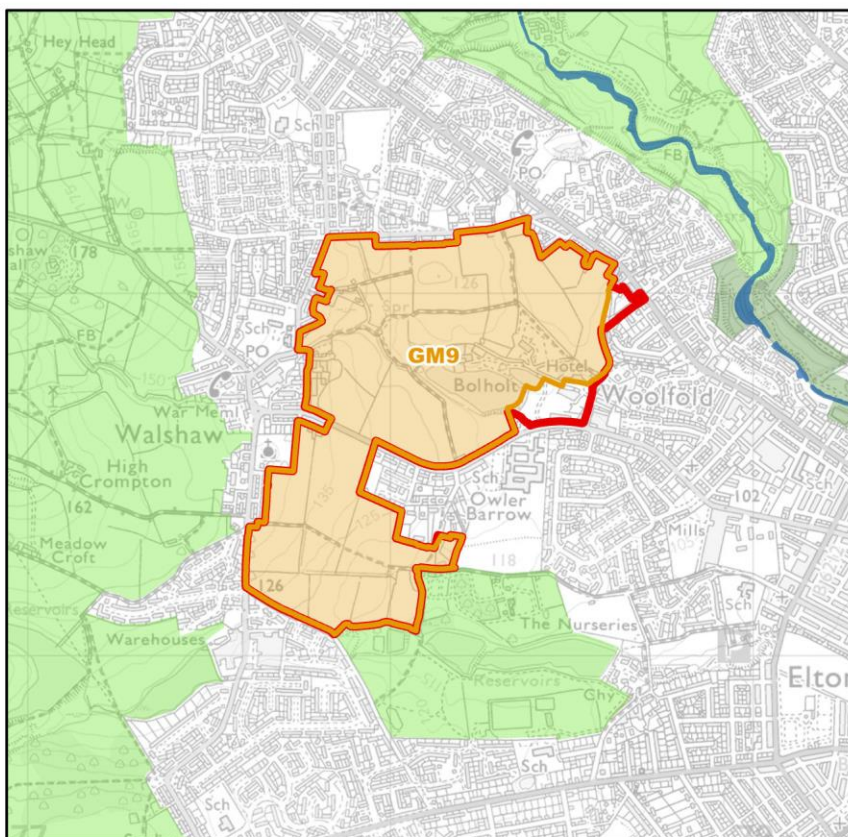
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. Mitigation would not reduce the harm of release of this Allocation.

GM9



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM9

Area Description

Open farmland divided by hedgerows, some tree lines and Walshaw Road, woodland clusters and ponds, adjoining the inset settlements of Tottington and Bury. The Allocation forms the majority of a wider area that is enclosed on all sides by inset urban development on the north western edge of Bury. With the exception of the small parts of the Allocation containing existing development (including a kennels, cattery, country club and hotel with associated buildings and carparks, care home with associated car park, workshops with associated buildings and hard standing and a dwelling) the Allocation is largely open and undeveloped. However the Allocation is almost entirely contained by the inset urban edge, creating a sense of urban containment within the Allocation. The majority of the Allocation directly adjoins residential development within the inset settlements, with only small parts of the edges defined by roads, tree lines or woodland clusters to create any distinction between the urban edge and the Green Belt. The Allocation does not have an outer boundary with the wider Green Belt surrounding Greater Manchester - a woodland block marks the boundary with retained Green Belt land to the south east, with the latter also enclosed by inset urbanising development. Nevertheless, the slightly elevated nature of the land and the presence of surrounding hills to the north and west, create some intervisibility between this Allocation and surrounding retained Green Belt land.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

The adjoining inset settlements of Bury and Tottington are part of the large built-up area of Greater Manchester, so development expanding in this area could constitute sprawl. Although the Allocation is predominantly undeveloped, it is almost entirely contained by the inset edge and landform and land cover do not create any significant distinction from the adjacent urban edge, limiting the role of the Allocation in preventing unrestricted sprawl.

GM9

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this Allocation would remove the existing gap between the neighbouring towns of Bury and Tottington. Although the two are partially merged elsewhere, the Green Belt land within this sub-area nonetheless still contributes to some retention of separate settlement identities.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing this Allocation would encroach on land which is perceived as countryside. As the Allocation is nearly entirely contained by inset development, and landform and land cover do not create any significant distinction from the adjacent urban edge, the role of the Allocation in preventing encroachment is limited. However, the sense of intervisibility with surrounding Green Belt land to the north and west lend the Allocation some openness, despite the extent of its physical containment.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM9

Impact on adjacent Green Belt

Rating: No/negligible

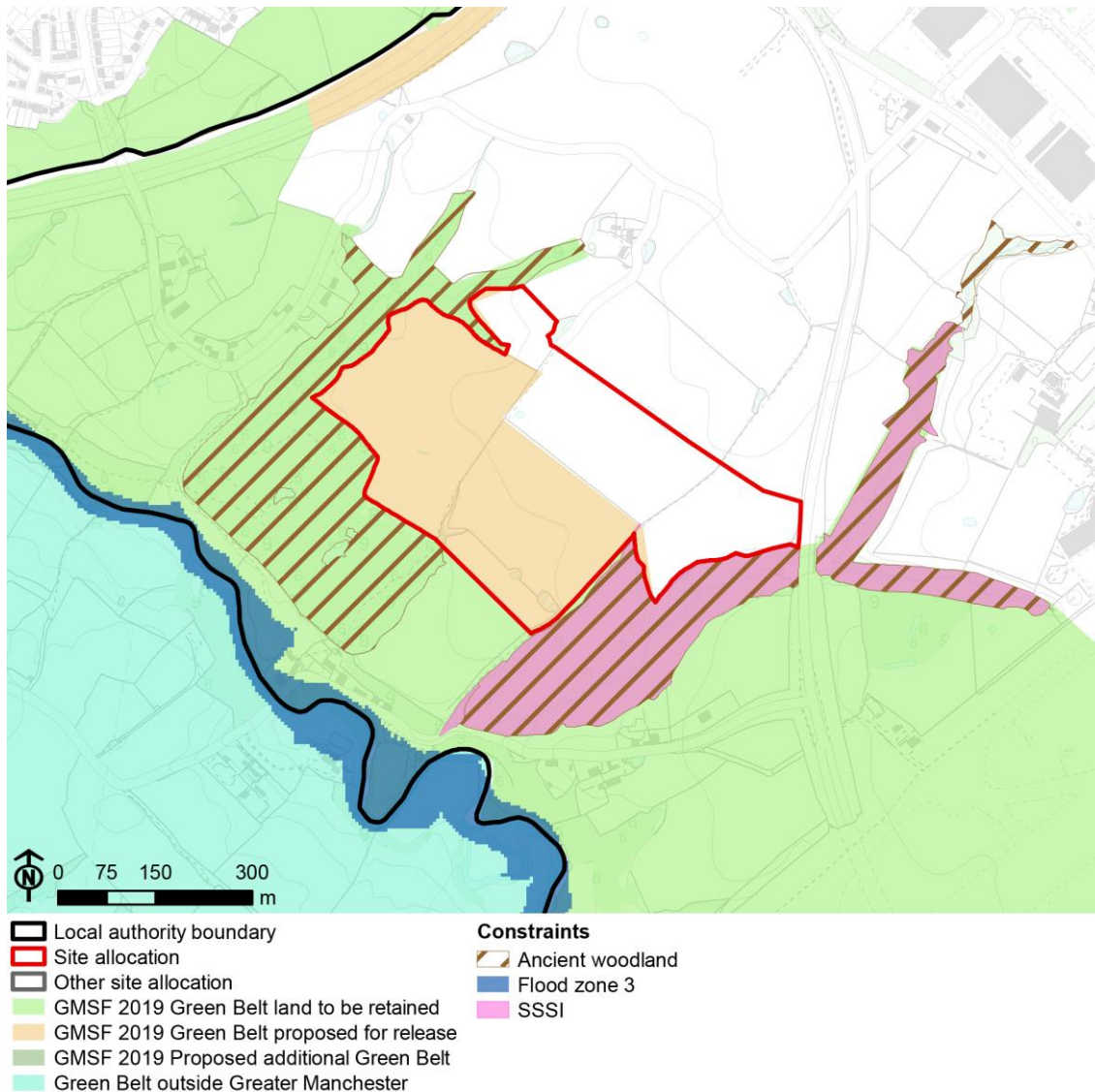
Releasing this Allocation would increase the containment of retained Green Belt land to the southeast, further isolating this land from the wider Green Belt. However, this plays a similar role in relation to Green Belt purposes and it could also be released without increasing harm. The release would also result in no significant change in strength of distinction between the inset settlement and the retained Green Belt to the south, which would be formed by the wooded edge of this Allocation.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the Allocation would constitute moderate sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as moderate.

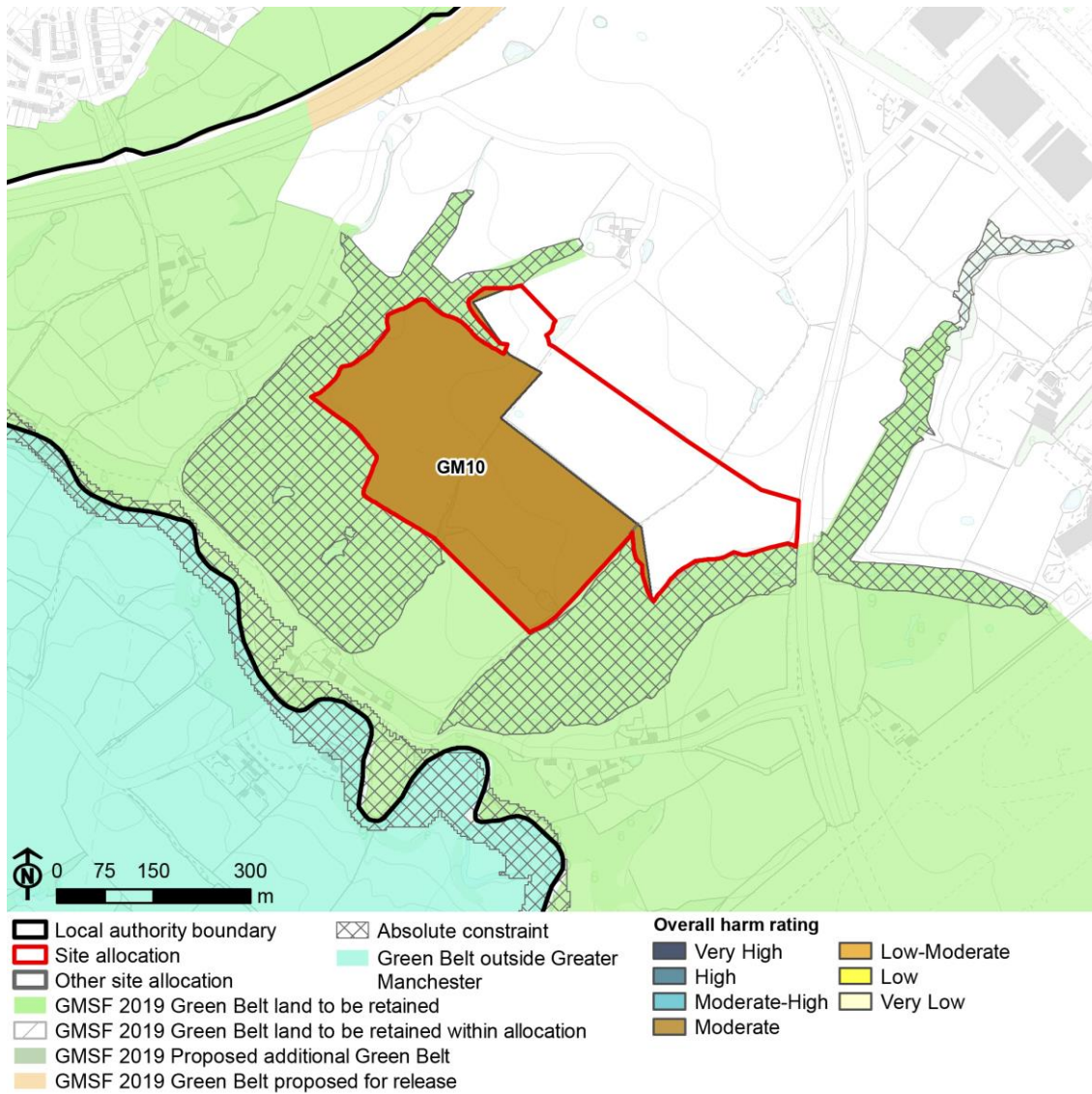
GM10 - Global Logistics



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Land lying south west of Manchester Airport, within the City of Manchester.

GM10



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GM10

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate | 12.2 |
| Total Allocation area | 20 |

This land comprises open grassland and is not significantly contained by the surrounding urban edge. However, there is lack of distinction between the Green Belt land within the Allocation and the adjoining inset edge. As such, the Allocation makes a significant contribution to checking the sprawl of Greater Manchester and to preventing encroachment of the countryside. It also makes a relatively limited contribution to maintaining the separation of Wythenshawe and Hale Barnes.

As this Allocation is largely surrounded by absolute constraints, its release would not increase the containment of any retained Green Belt land and would result in a strong distinct revised Green Belt boundary. Release of the Allocation would therefore constitute moderate harm to Green Belt purposes.

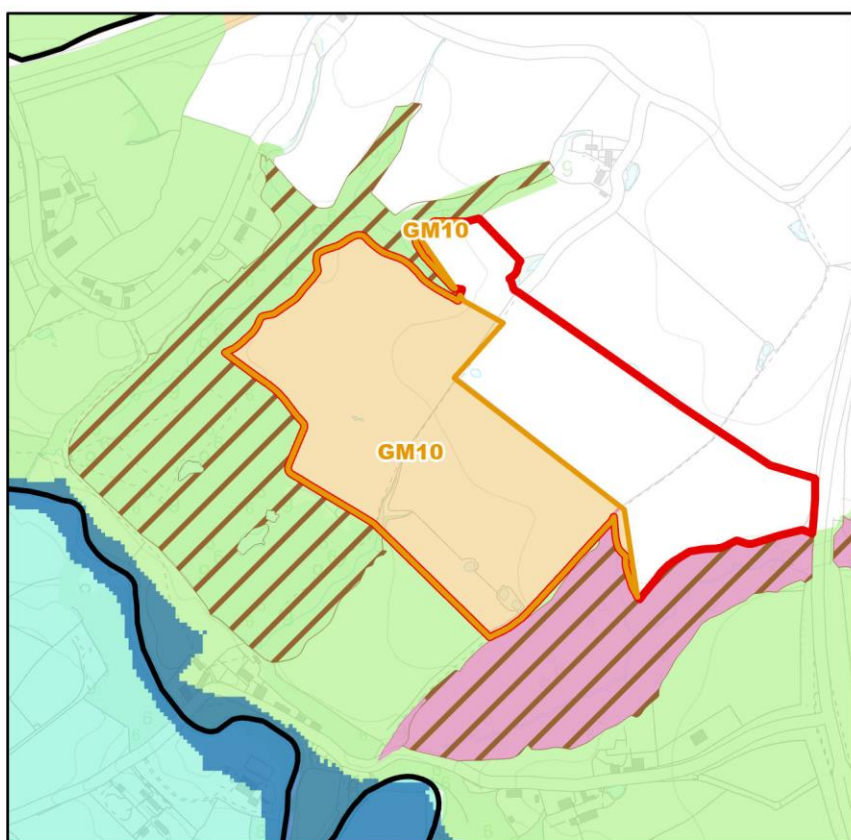
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM10



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Green Belt outside Greater Manchester
- Ancient woodland
- Flood zone 3
- SSSI



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GM10

Area Description

Open grassland on the western edge of the Manchester Airport development, within the City of Manchester. Only the western side of the Allocation lies within existing designated Green Belt.

The Allocation contains no urbanising development to diminish openness and is not significantly contained by the surrounding urban edge. The inset edge to the east is defined by no recognisable boundary, providing minimal distinction - an area of undeveloped inset land lies to the immediate east, in the gap between the Allocation and development associated with the airport. It is noted that the inset land within the Allocation contains planning permission for a World Logistic Hub. The presence of a block of ancient woodland (Sunbank Wood) along most of the outer boundary contributes to the sense of containment and serves as a distinct boundary with the wider countryside to the west.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Wythenshawe (and the contiguous airport development) are part of the large built-up area of Greater Manchester and this Allocation is open, however the lack of a distinct boundary on its eastern edge limits slightly the extent to which new development would be considered unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The Allocation does lie between the towns of Wythenshawe and Hale Barnes, but is more closely related to the former. The M56 remains as a strong separating feature between the two, and the woodland containing the Allocation means that Green Belt land to the north plays a stronger role in maintaining separation.

GM10

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

The release would encroach on land which, despite the proximity of nearby urbanising uses, is generally perceived as countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM10

Impact on adjacent Green Belt

Rating: No/negligible

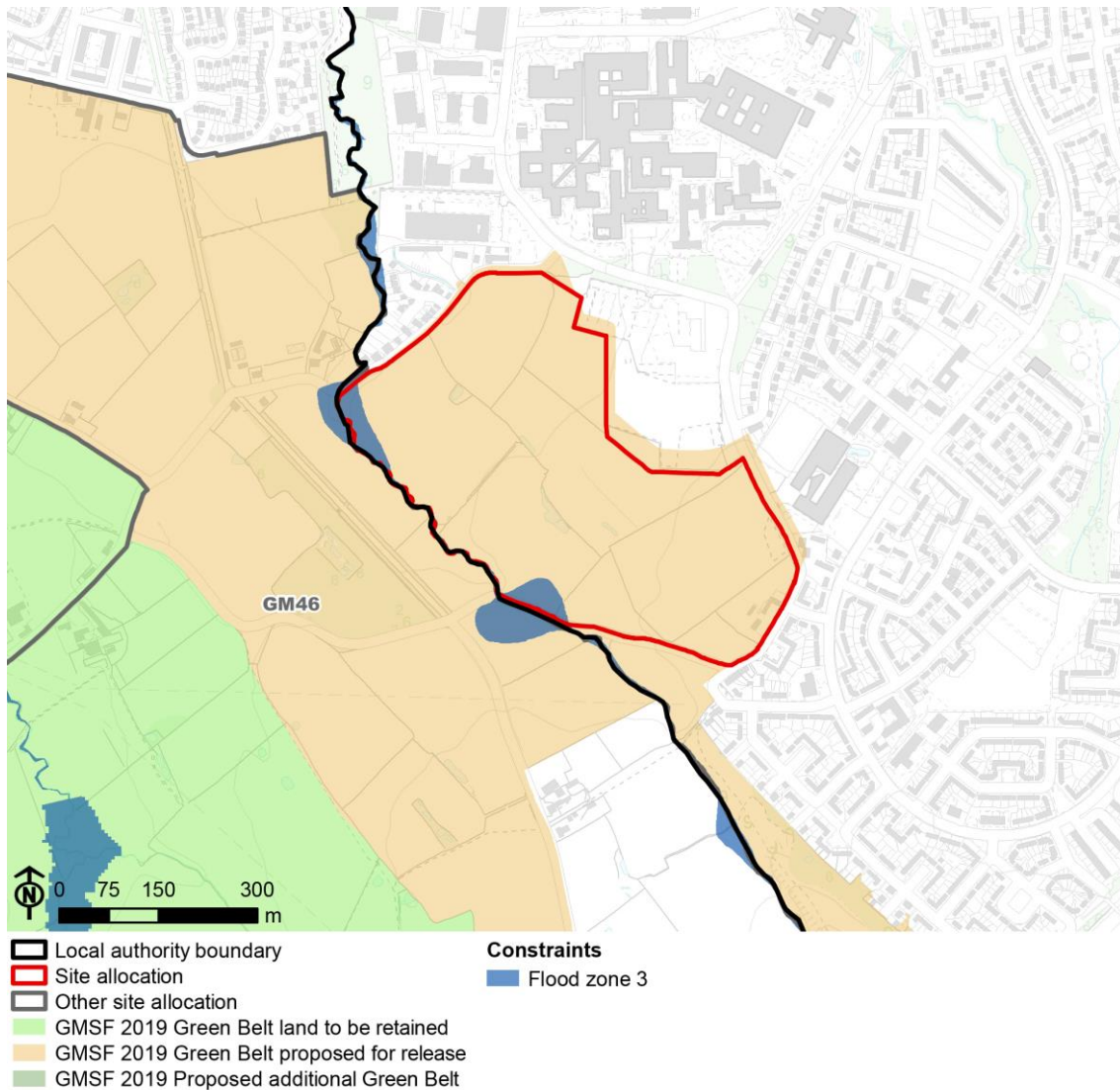
As this Allocation is largely surrounded by absolute constraints, its release would not increase the containment of any retained Green Belt land. The release would also result in a strong and distinct revised Green Belt boundary, defined mostly by the edge of Sunbank Woods.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the Allocation would constitute relatively significant sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as moderate.

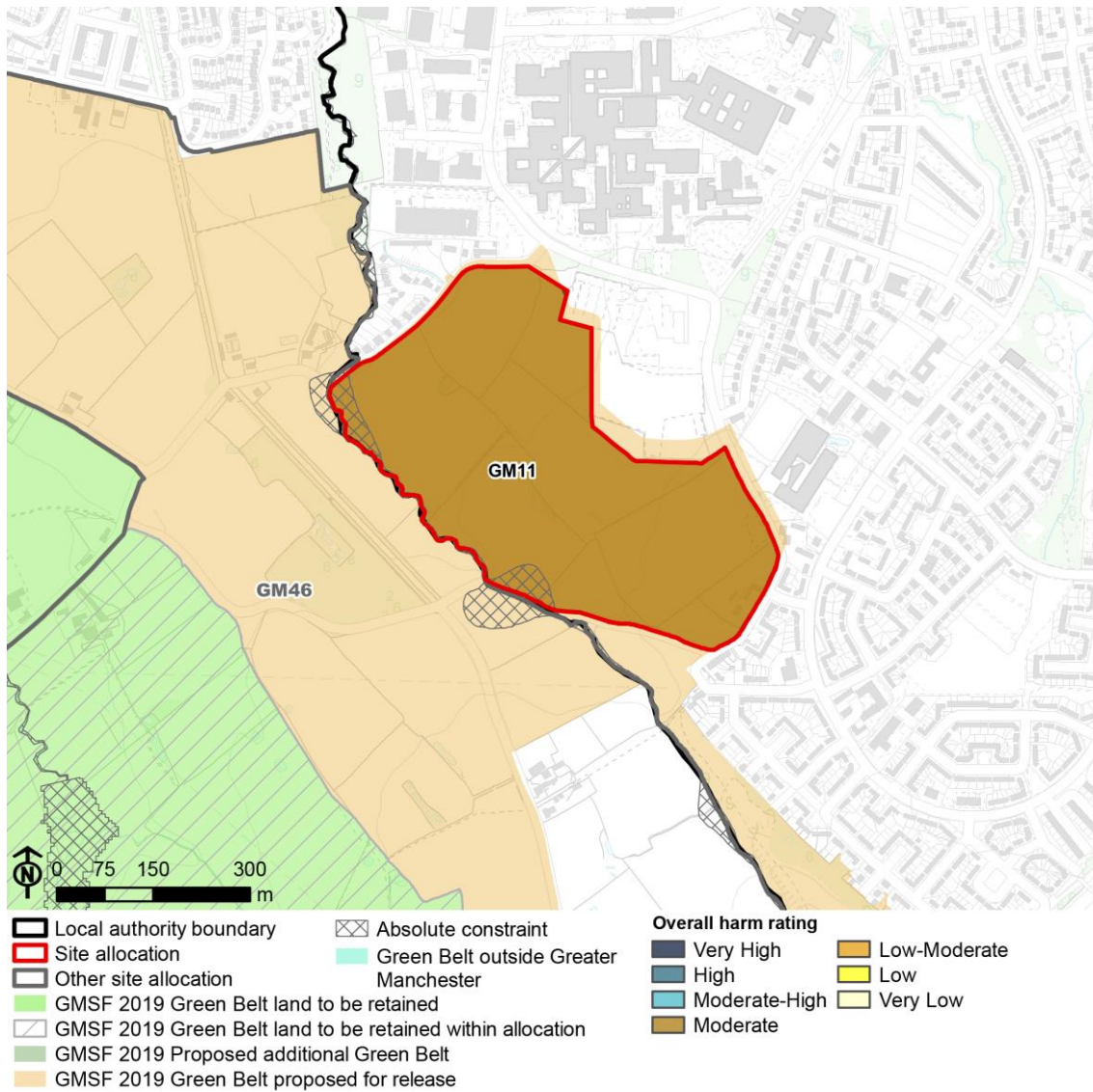
GM11 - Roundthorn Medipark Extension



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Land to the south west of the Roundthorn Medipark (Wythenshawe), within the City of Manchester.

GM11



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GM11

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate | 21.4 |
| Total Allocation area | 21.5 |

The Allocation comprises of open farmland and playing fields. The surrounding urban edge creates a degree of urbanising containment and there is limited distinction between the land within the Allocation and the urban edge. As such, the Allocation makes a relatively significant contribution to checking the sprawl of Greater Manchester and to preventing encroachment of the countryside, and a moderate contribution to maintaining separation between Wythenshawe and Hale.

Release of the Allocation would not increase the containment of any retained Green Belt land and would have no bearing on the strength of retained Green Belt land. Release of the Allocation would constitute moderate harm to Green Belt purposes.

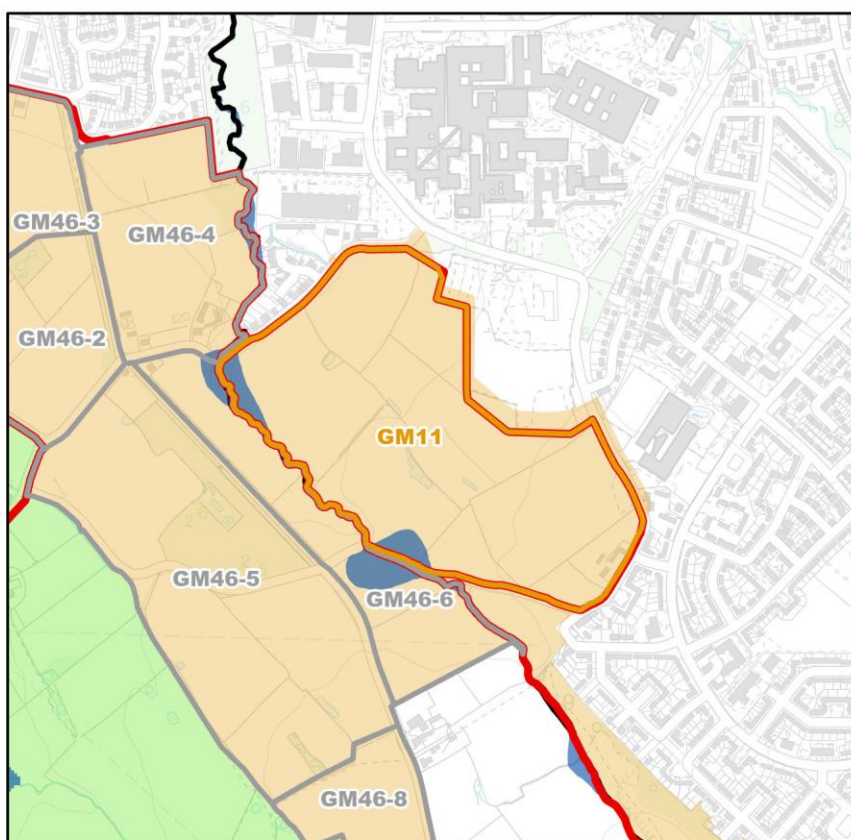
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM11



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM11

Area Description

Relatively flat area of farmland and playing fields to the south west of the Roundthorn Medipark. This Allocation is contiguous with GM Allocation 46 to the southwest. The Allocation consists of agricultural land and contains no urbanising development to diminish openness, however it is contained to a degree by the surrounding urban edge. The minor roads to the north and south (Dobbinetts Lane and Barnacre Avenue) create some partial distinction from the adjacent urban edge, however the edge of the hospital car park to the east creates weaker distinction and as such creates some association with urbanising uses within the adjacent settlement. The presence of Fairywell Brook defining the Allocation's western boundary provides some limited distinction from adjacent land within GM46 to the west and the retained Green Belt land beyond.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Newall Green (Wythenshawe) is part of the large built-up area of Greater Manchester and is relatively open, however the lack of distinction on the adjacent urban edge limits the extent to which new development would be considered unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Release of this land would reduce a gap between the towns of Wythenshawe and Hale that is relatively narrow, however existing inset development already extends most of the way to the Allocation area's western boundary, leading to a sense of containment and limiting the impact this release would have on the gap between the two.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this land would encroach on land which, due to the lack of urbanising development, retains a strong relationship with wider countryside to the west.

GM11

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM11

Impact on adjacent Green Belt

Rating: No/negligible

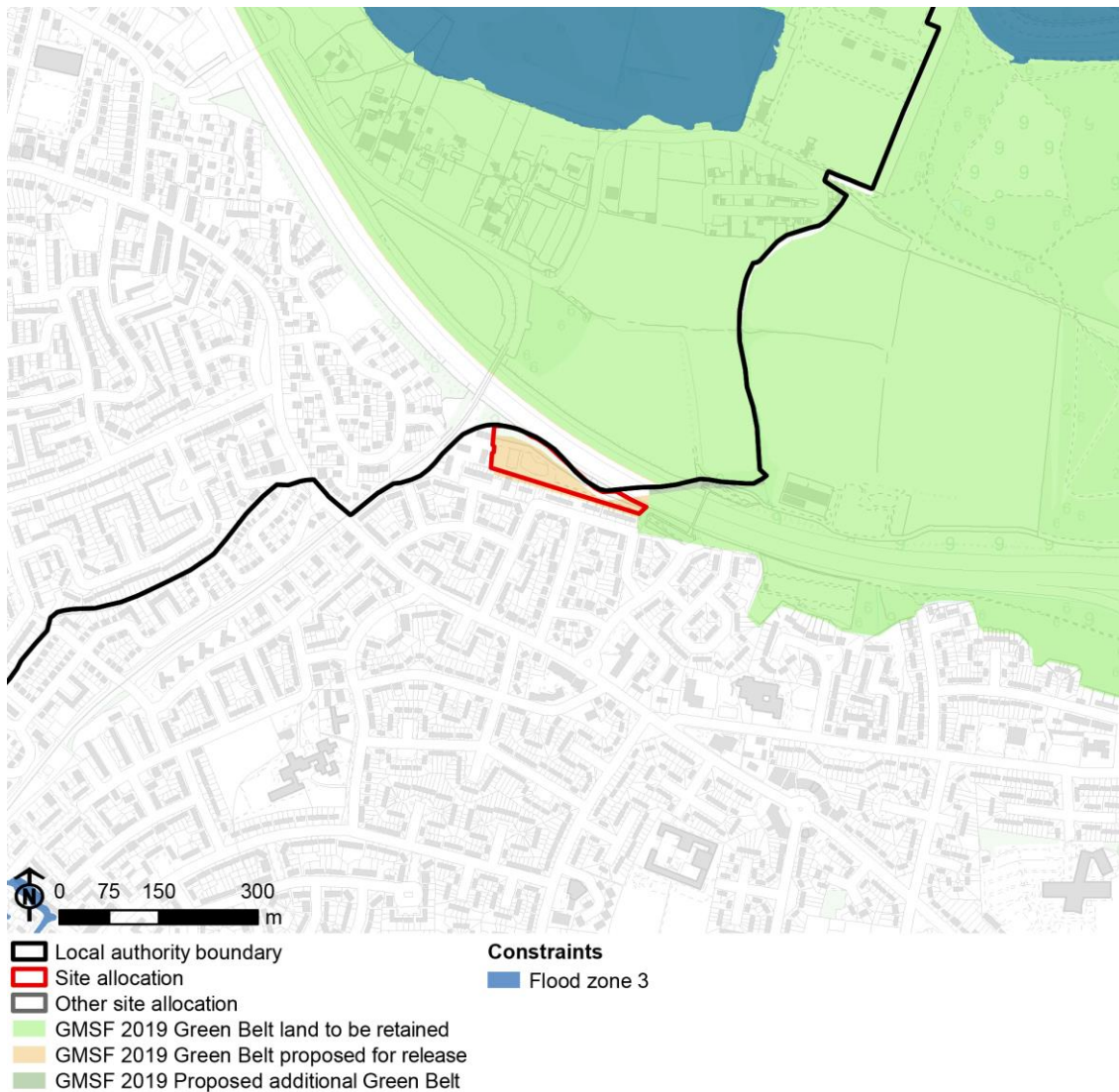
As a result of its own containment, release of this Allocation would not increase the containment of any retained Green Belt land. The release would also have a negligible bearing on the strength of retained Green Belt land to the south and west, as Fairywell Brook and intervening lanes and field boundaries create some distinction between the Allocation and retained Green Belt land within and adjacent to GM46.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the Allocation would constitute relatively significant sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. However it would constitute only a negligible weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as moderate.

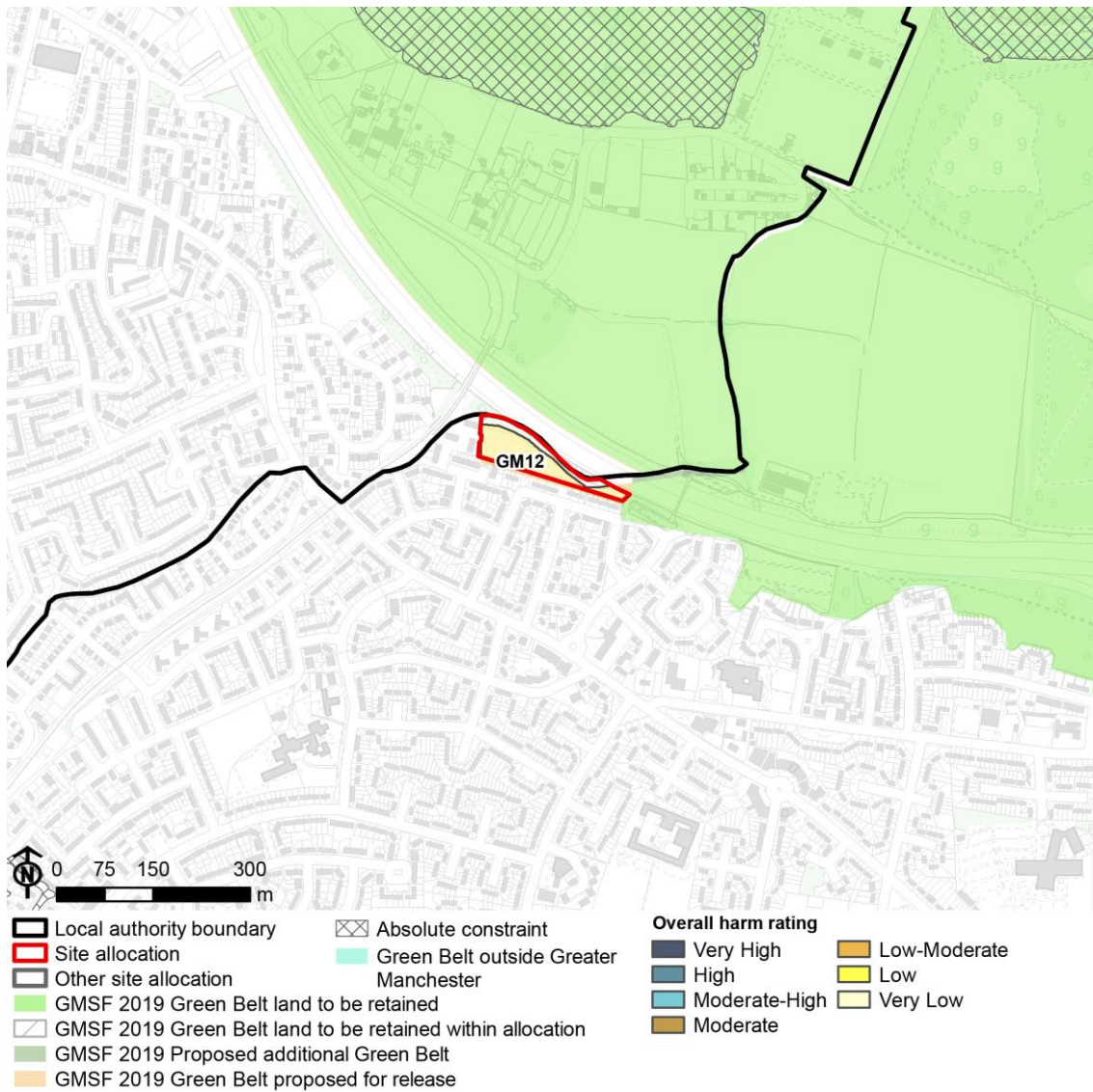
GM12 - Southwick Park



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Southwick park, lying on the northern edge of Wythenshawe, within the City of Manchester.

GM12



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GM12

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Very Low | 0.7 |
| Total Allocation area | 1 |

The Allocation largely comprises of the Southwick Park paved over playing area, which constitutes significant urbanising development. The land is almost entirely surrounded by the inset edge of Wythenshawe and lacks distinction from this settlement. The land therefore makes a limited contribution to Green Belt purposes.

Given the extent of its own containment and the presence of the M60, releasing this Allocation would not increase the containment of any retained Green Belt land. It would also result in a distinct and consistent boundary between the inset settlement and the retained Green Belt land to the north, defined by the M60 motorway and the adjacent buffer of tree cover. Release of this Allocation would therefore cause very low harm to Green Belt purposes.

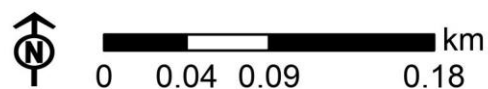
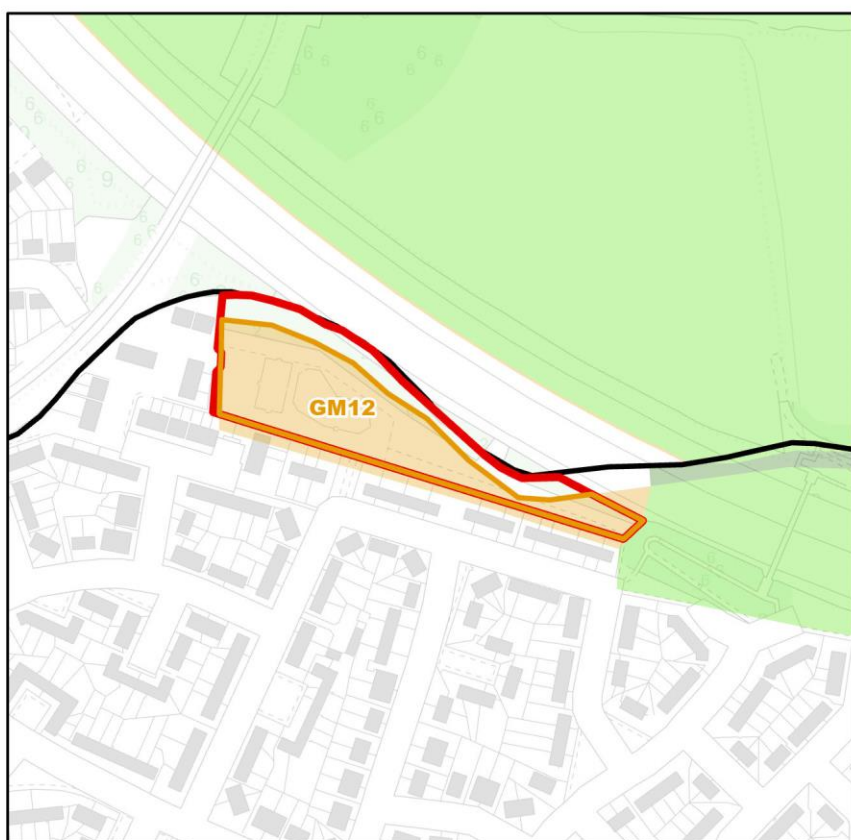
Potential to mitigate harm

Release of the Allocation would cause very low harm to Green Belt purposes, and as such no mitigation is proposed.

GM12



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt



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GM12

Area Description

Narrow strip of land between the settlement edge of a residential area of Wythenshawe and the M60 motorway, largely taken up by the Southwick Park paved over playing area. The paved over play area constitutes significant urbanising development, remaining open areas to the east are largely dominated by built development, and the Allocation is almost entirely surrounded by the inset edge of Wythenshawe. Residential garden boundaries on the southern boundary do not create any significant distinction from the adjacent urban edge. The presence of the M60 motorway and associated landscape buffer to the north increases the sense of association with adjacent urbanising uses and creates strong distinction between the Allocation area and the wider Green Belt to the north.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Limited/No

Wythenshawe is part of the large built-up area of Greater Manchester. However the significant extent of the Allocation's containment, existing urbanising development and the weak distinction on the urban edge limit its role in acting in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The Allocation does lie in the gap between the towns of Wythenshawe and Manchester but the extent of its containment means that it make no contribution to the separation between the two. The M60 remains as a significant separating feature to the north.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Limited/No

This land is characterised by development that is urban in character, and strongly associated with the urbanising uses to the south, and as such its release would not encroach on open countryside.

GM12

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM12

Impact on adjacent Green Belt

Rating: No/negligible

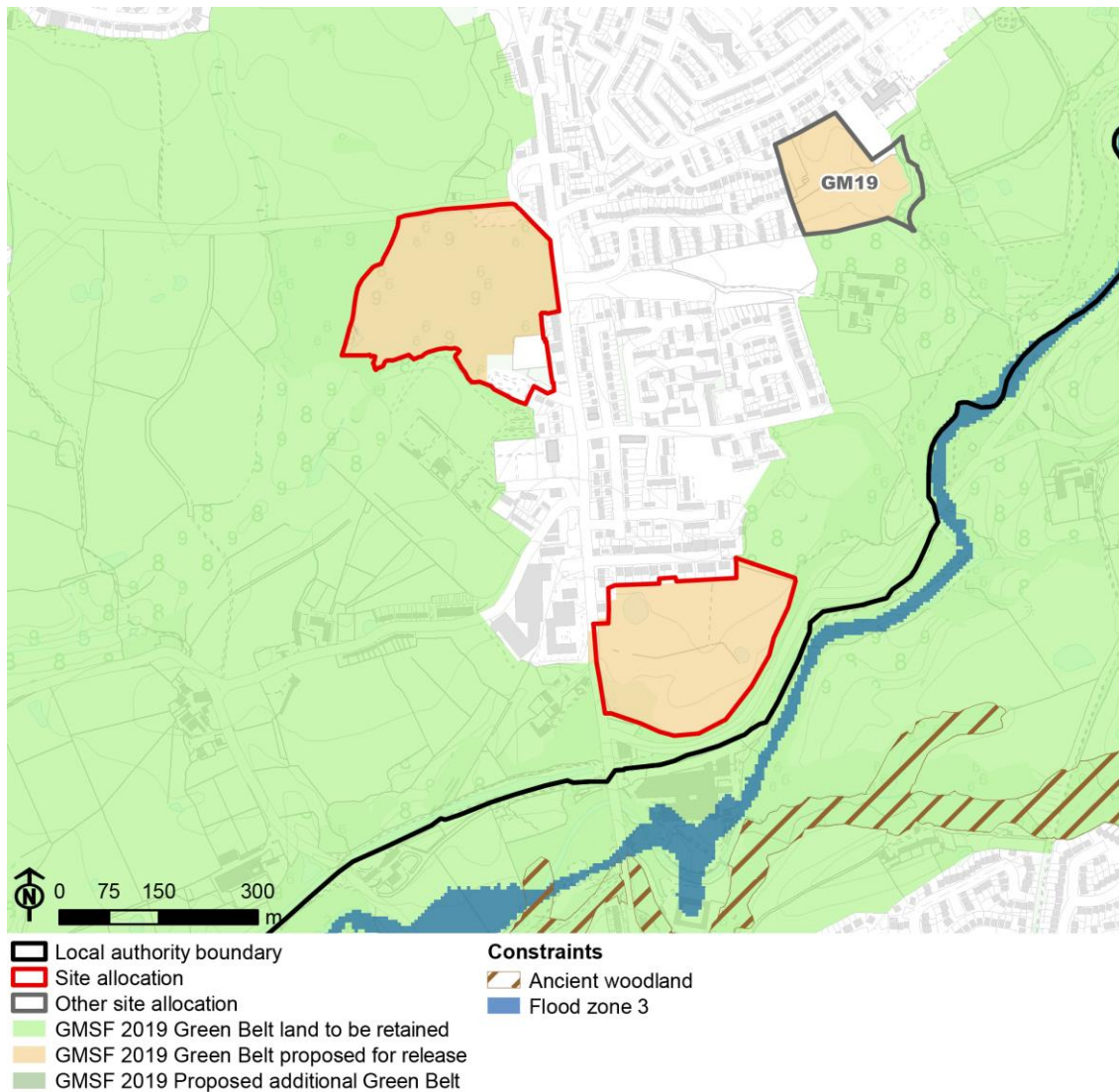
Given the extent of its own containment and the presence of the M60, releasing this Allocation would not increase the containment of any retained Green Belt land. It would also result in a distinct and consistent boundary between the inset settlement and the retained Green Belt land to the north, defined by the M60 motorway and the adjacent buffer of tree cover.

Overall harm to Green Belt purposes from release of land

Very Low

Release of the Allocation would have a limited or no impact on all Green Belt purposes, and would constitute a negligible impact on retained Green Belt land. Harm from the release of the Allocation is therefore assessed as very low.

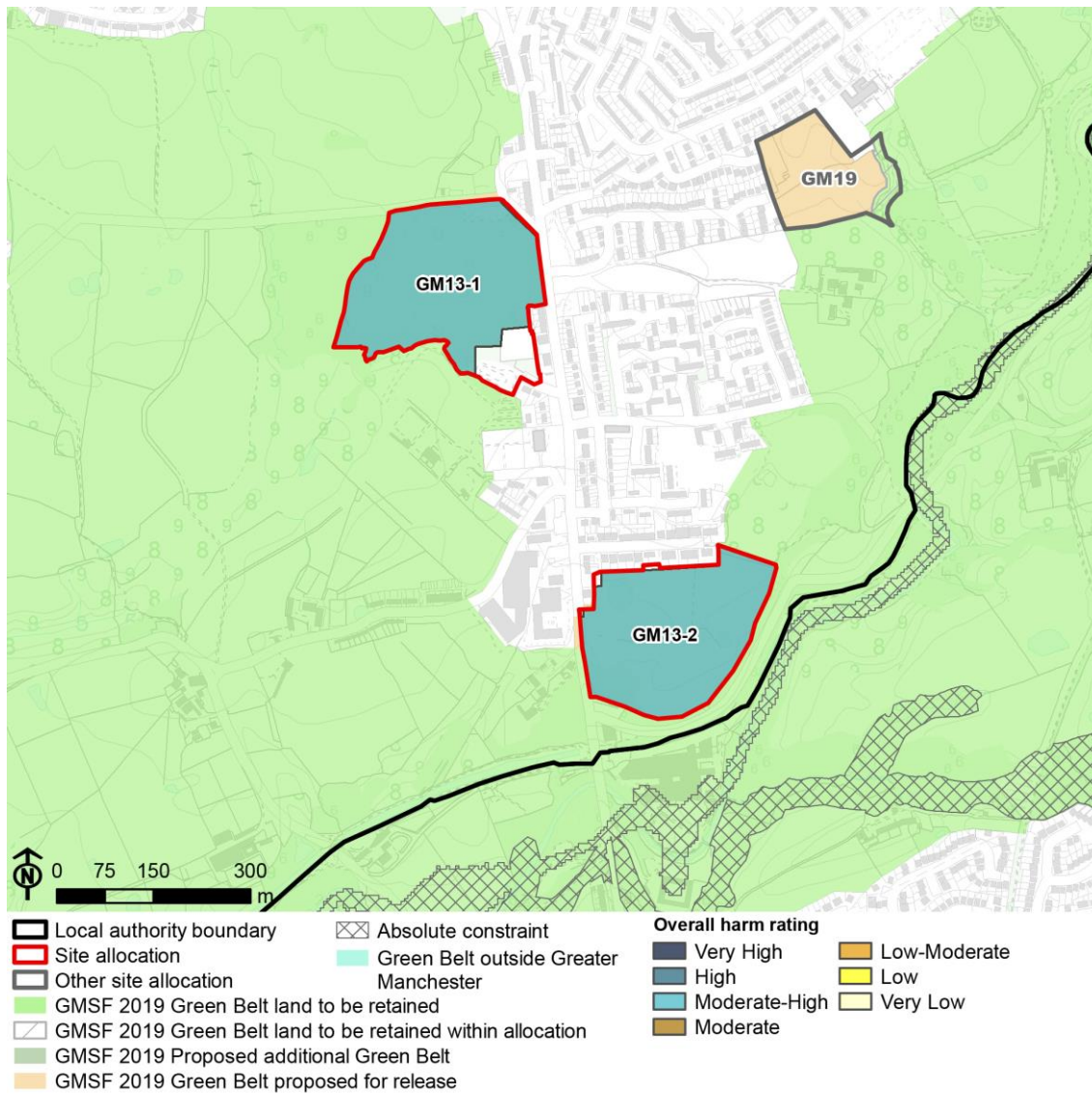
GM13 - Ashton Road Corridor



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Two distinct areas of land to the east and west of Ashton Road, adjacent to Bardsley and within the Metropolitan Borough of Oldham.

GM13



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GM13

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate-High | 11.5 |
| Total Allocation area | 12.3 |

GM13 is split into two sub-areas as it consists of two physically separate pieces of land.

The northern part of the allocation is not significantly contained by urbanising development and has some limited distinction from the urban edge. As such, the land makes a significant contribution to checking the sprawl of Greater Manchester and preventing encroachment on the countryside, as well as a moderate contribution to maintaining the separation of Oldham and Failsworth & Hollinwood.

Release of this part of the Allocation would further contain retained Green Belt land to the north, but that area makes a weaker contribution to Green Belt purposes and therefore its containment would not increase harm. Release would not weaken the Green Belt boundary.

The southern part of the allocation comprises of open land and a woodland block. The adjoining inset edge creates a degree of urbanising containment within the area and it has some limited distinction from the urban edge. As such, the land makes a relatively significant contribution to preventing encroachment on the countryside, and a moderate contribution to checking the sprawl of Greater Manchester and preventing the merging of Oldham and Ashton under Lyne.

Release of this part of the Allocation would weaken the separation between Oldham and Ashton under Lyne and would weaken the Green Belt boundary.

Release of the Allocation would constitute moderate-high harm to Green Belt purposes.

GM13




Potential to mitigate harm

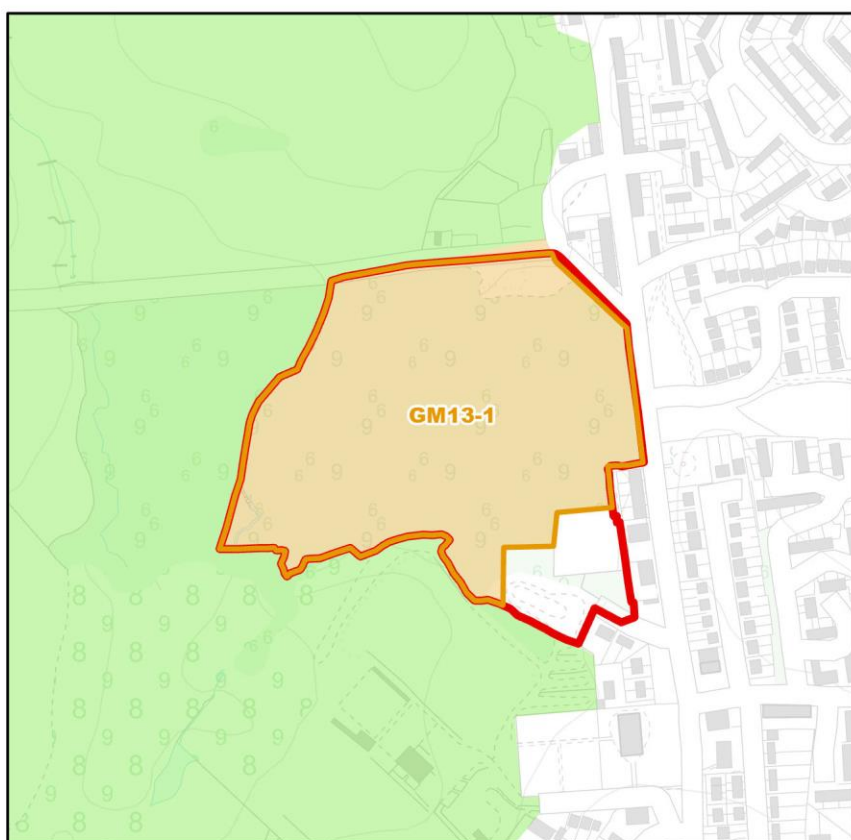
The principal cause of harm from release of the northern part of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation.

Strengthening the boundary of the retained Green Belt to the south of the southern part of the Allocation, such as via planting additional woodland, could potentially increase the future distinction between inset land and retained Green Belt land. This could help to limit the weakening of this land between Oldham and Ashton under Lyne and limit the perception of these settlements merging.

GM13-1



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt



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GM13-1

Area Description

An area of scrub land and patchy tree cover, with an elevated plateau in the centre of the sub-area. This part of the Allocation is also adjacent (to the south) to Oldham Rugby Union Football Club and the Holy Trinity Church. The sub-area contains no urbanising development to diminish openness and is not significantly contained by urban development. The A627 to the east creates some distinction from the adjacent urban edge, but the extent to which the main road has already been breached by inset development weakens this distinction. Tree cover within the sub-area creates a relatively strong sense of distinction from adjacent retained Green Belt land to the west, south and across Coal Pit Lane to the north.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Bardsley is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area's openness and the degree of distinction provided by the A627 on its eastern boundary both contribute to its role in preventing sprawl westwards.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would reduce the gap between the towns of Oldham and Failsworth & Hollinwood, which is relatively narrow, but where the extent of merging between the two in the north limits to a degree this sub-area's role in preserving the gap.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

The release would encroach on land which, due to the absence of urbanising development and lack of containment, is generally perceived as countryside.

GM13-1

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM13-1

Impact on adjacent Green Belt

Rating: No/Negligible

Release of the sub-area, as part of the release of the Allocation as a whole, would lead to a degree of further containment of the golf course lying to the north, but that area of retained Green Belt land is more contained by development and therefore makes a weaker contribution to Green Belt purposes. As such, the containment of this land does not increase the harm of release. There is too much inset development to the west of the A627 for this main road to be considered a significantly stronger Green Belt boundary than that which could be formed by releasing this land while retaining a wooded boundary strip.

Overall harm to Green Belt purposes from release of land

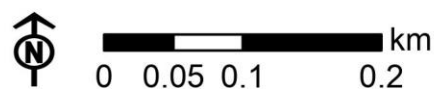
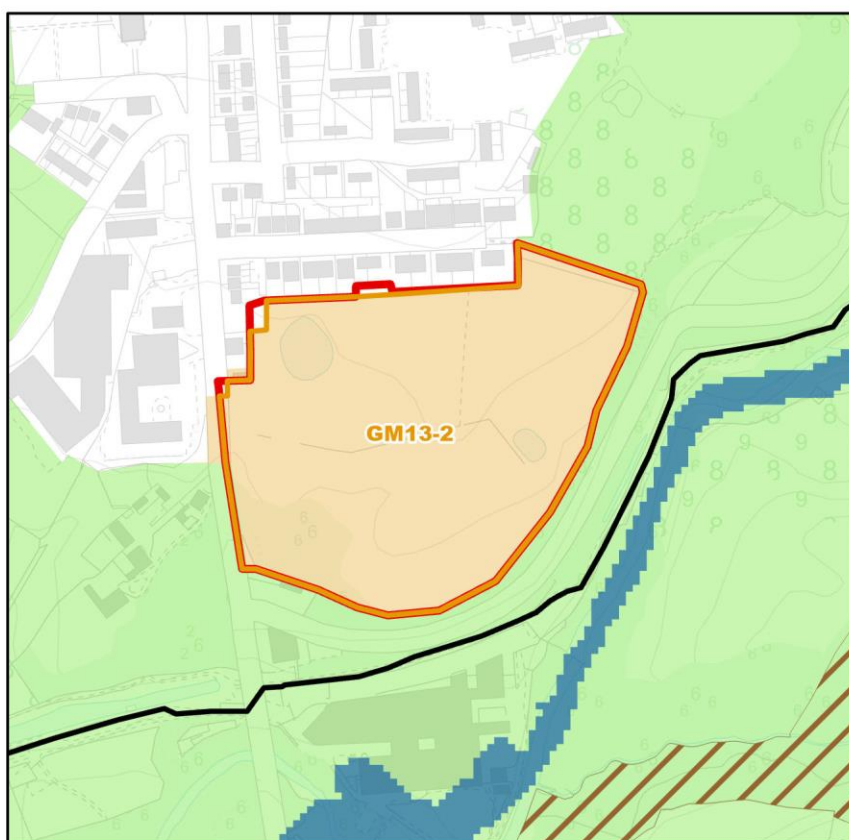
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside and a moderate impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM13-2



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Ancient woodland
- Flood zone 3



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GM13-2

Area Description

Open land and woodland block adjacent to the southern edge of Bardsley, sloping down toward the River Medlock. The sub-area contains no urbanising development to diminish openness but the inset settlement edge creates a degree of urbanising containment. The sloping landform of the Medlock river valley creates some distinction from the inset settlement edge, but containment by woodland to the south and east limits the relationship between the sub-area and the wider valley within the adjoining retained Green Belt.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Bardsley is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. However the sense of containment of the land within this sub-area, and the minimal distinction with urbanising uses, limit its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would further reduce a relatively narrow gap between the towns of Oldham and Ashton under Lyne, which is already diminished by washed-over development to the south of the sub-area. However woodland in the River Medlock valley, which provides strong visual containment of the washed-over development, would remain as a significant separating feature.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this land would encroach on land which, despite a degree of containment, is open countryside which retains some distinction from the inset settlement.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM13-2

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM13-2

Impact on adjacent Green Belt

Rating: Minor

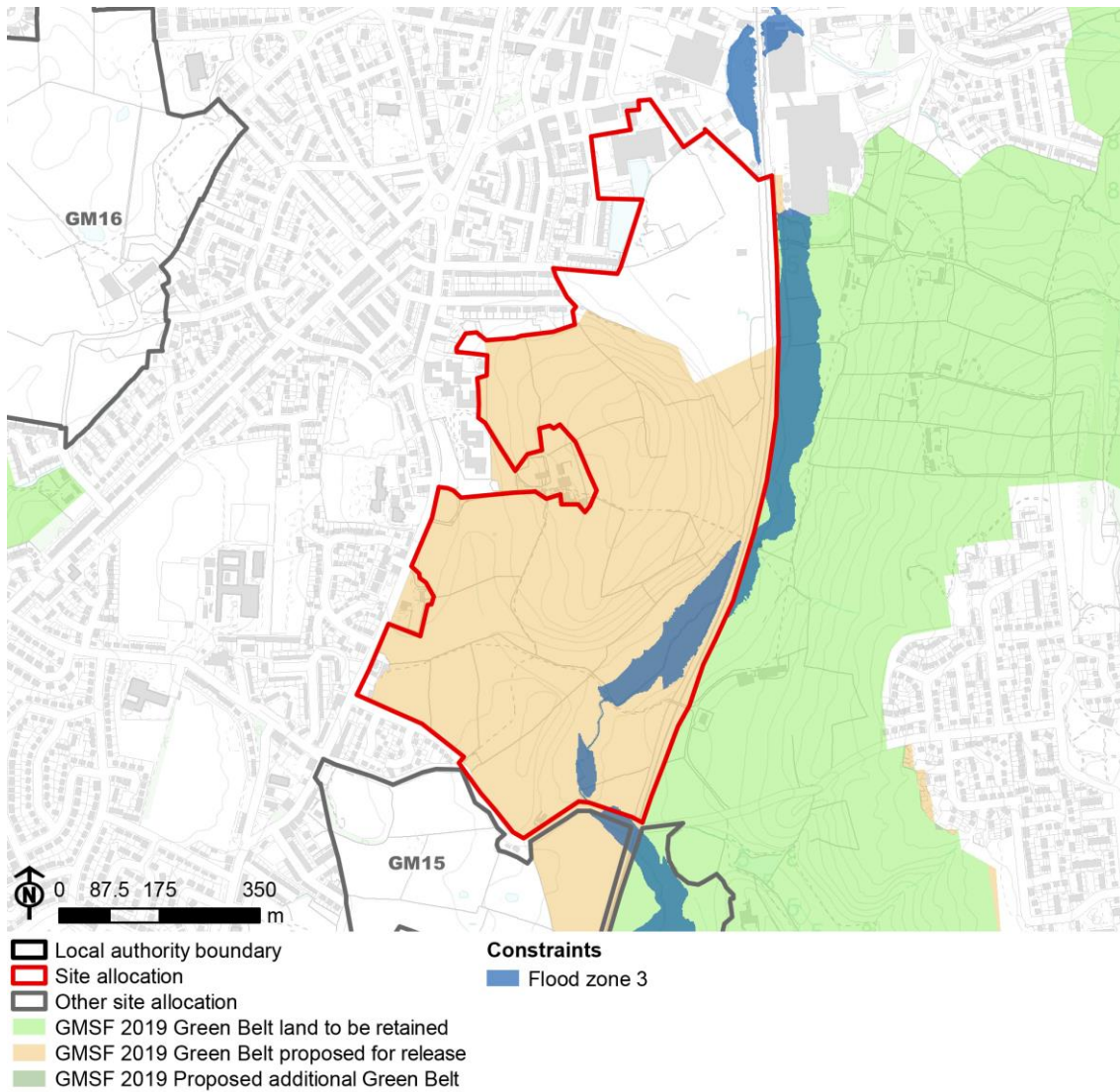
Woodland and the presence of existing inset development to the south limit the extent to which release of the sub-area, as part of the release of the Allocation as a whole, would weaken separation between Oldham and Ashton under Lyne. Nevertheless, although the woodland edge would form a strong boundary feature if this sub-area were released, as part of the release of the Allocation as a whole, the relocation of the Green Belt boundary to the valley floor would weaken the integrity of the retained Green Belt land on the other side of the valley to the east of Bardsley.

Overall harm to Green Belt purposes from release of land

Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant encroachment on the countryside, moderate sprawl and a moderate impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

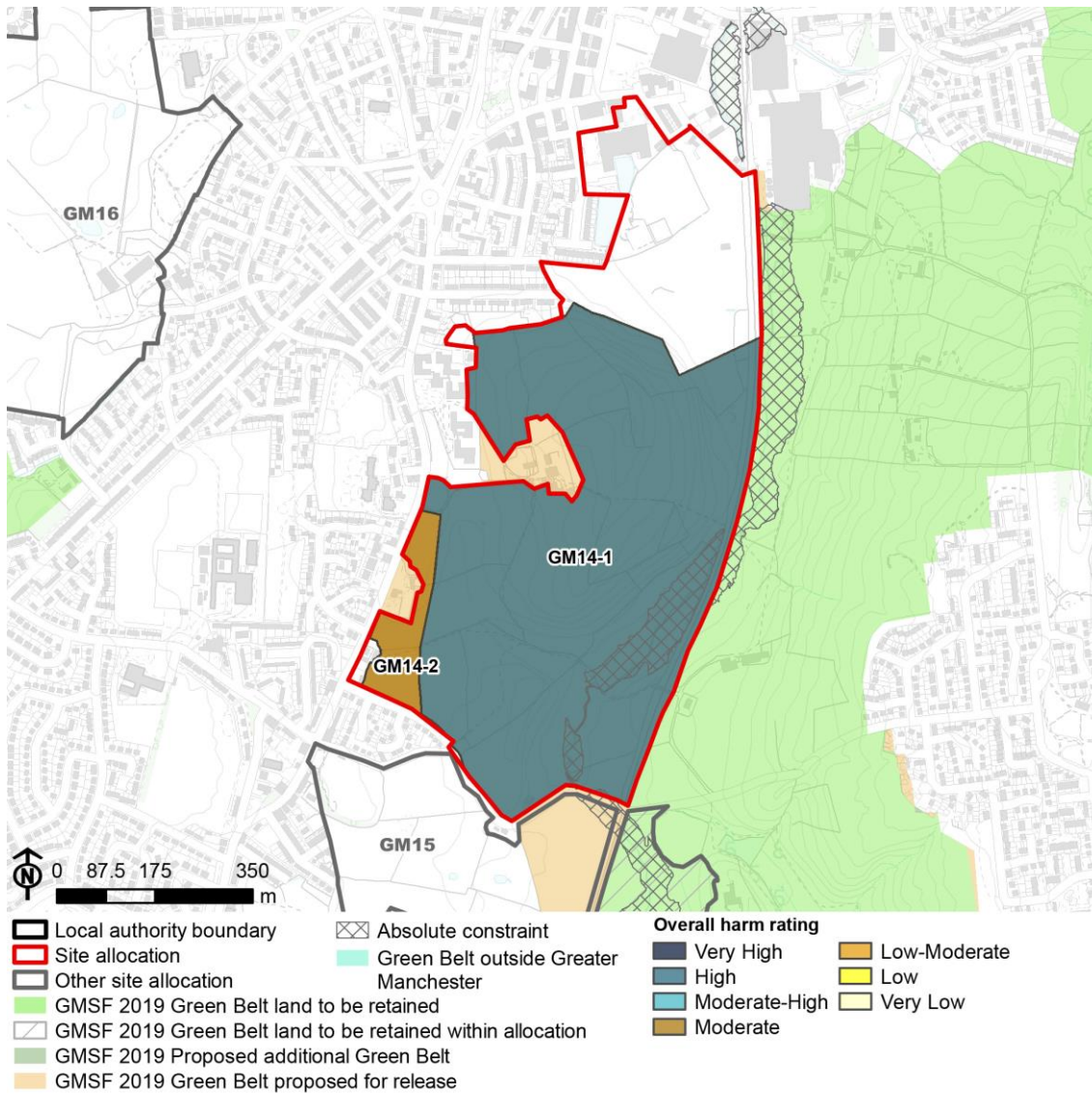
GM14 - Beal Valley



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Elevated farmland at Shaw Side Hill, within the Metropolitan Borough of Oldham.

GM14



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GM14

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| High | 37.5 |
| Moderate | 2 |
| Total Allocation area | 51.2 |

GM14 is split into two sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation comprises of open agricultural land at Shaw Side Hill. The sloping land of Shaw Side Hill creates distinction between the majority of the Allocation from the adjacent urban edge, as well as limiting the sense of urban containment. As such, the majority of the Allocation makes a significant contribution to checking the sprawl of Greater Manchester and preventing encroachment on the countryside, and a relatively significant contribution to maintaining separation between Shaw & Crompton and the Sholver/Moorside suburb of Oldham. Much of the Allocation also makes a moderate contribution to preserving the setting of the historic settlement areas located within Shaw.

Release of the Allocation would not weaken the Green Belt boundary, but would increase the containment of retained Green Belt land to the east, narrowing the gap between Shaw & Crompton and the Sholver/Moorside suburb of Oldham. Release of the Allocation would therefore constitute high harm to Green Belt purposes.

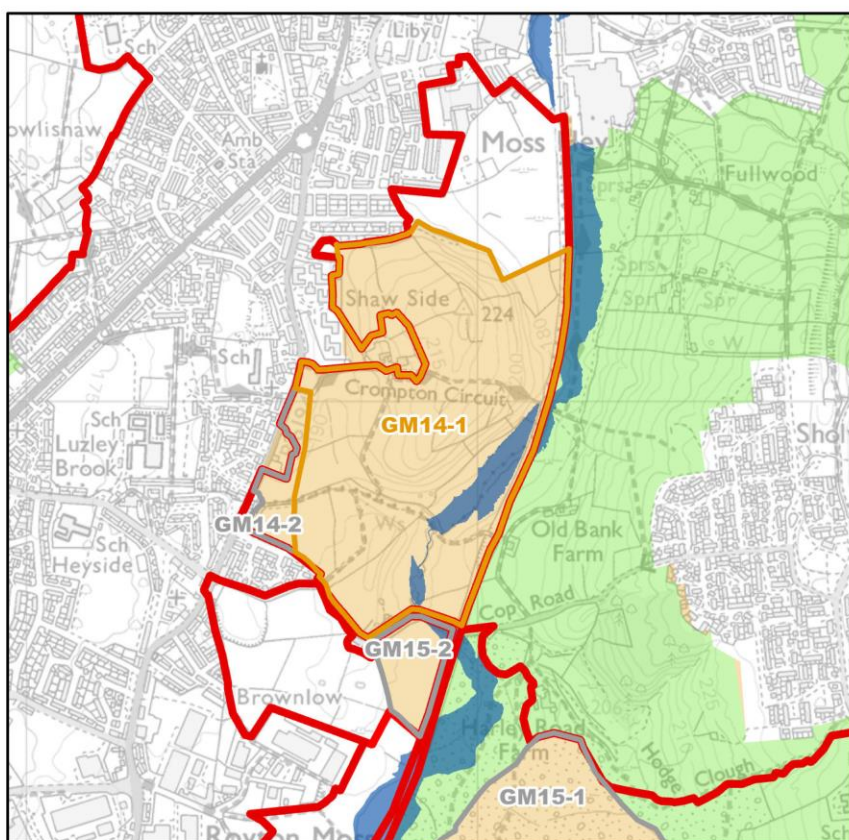
Potential to mitigate harm

Strengthening the boundary of the retained Green Belt land to the east of the Allocation, such as by planting woodland on land sloping down to the east to help screen views across the railway line, could potentially increase the future distinction between inset land and retained Green Belt land. This could help to limit the weakening of this land and its role in maintaining separation between Shaw & Crompton and the Sholver/Moorside suburb of Oldham.

GM14-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM14-1

Area Description

Open agricultural land at Shaw Side Hill, adjacent to the southern boundary of Shaw. The land is divided by tree lines and includes an isolated dwelling in the south and a woodland block in the north. The northernmost part of the sub-area is located outside of the Green Belt designation and part of the southeast of the sub-area is within the floodplain of the River Beal. The isolated dwelling in the south does not constitute significant urbanising development that would diminish openness, however the sub-area is contained by the inset edge to the north, west and southwest. The sloping land of Shaw Side Hill creates distinction from the adjacent urban edge, and limits the sense of urban containment, despite the absence of significant physical boundaries beyond garden boundaries. The boundary of the sub-area adjacent to retained Green Belt land to the east is defined by a railway line, and a small stretch of Bullcote Lane defines the boundary to the southwest.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Shaw & Crompton is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. Although there is some sense of urban containment within the sub-area, the land contains no urbanising development to diminish openness and the sloping land of Shaw Side Hill creates distinction from urbanising uses to the west.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would remove the major separating feature of Shaw Side Hill, which currently separates the town of Shaw & Crompton and the Sholver/Moorside suburb of Oldham. Although these towns are already linked to a degree to the south, they remain largely distinct.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

Releasing this sub-area would encroach on the open agricultural land at Shaw Side Hill, which is generally perceived as countryside.

GM14-1

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Moderate

The open agricultural land at Shaw Side Hill is an element of the setting of the historic settlement areas located within Shaw. Release of land would detract from this but would not affect key elements of historic character and setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM14-1

Impact on adjacent Green Belt

Rating: Minor

Due to the loss of openness of the elevated slopes of Shaw Side Hill, releasing this sub-area, as part of the release of the Allocation as a whole, would weaken settlement separation between Shaw & Crompton and the Sholver/Moorside suburb of Oldham. It would also increase the containment of retained land to the east, although as this land does not make a stronger contribution to the Green Belt purposes this would not increase harm any further. In addition, the release would result in a relatively consistent and distinct boundary between the inset settlement and retained Green Belt land, defined by the railway line to the east.

Overall harm to Green Belt purposes from release of land

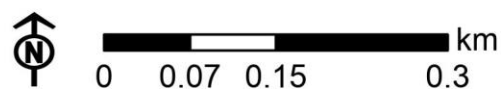
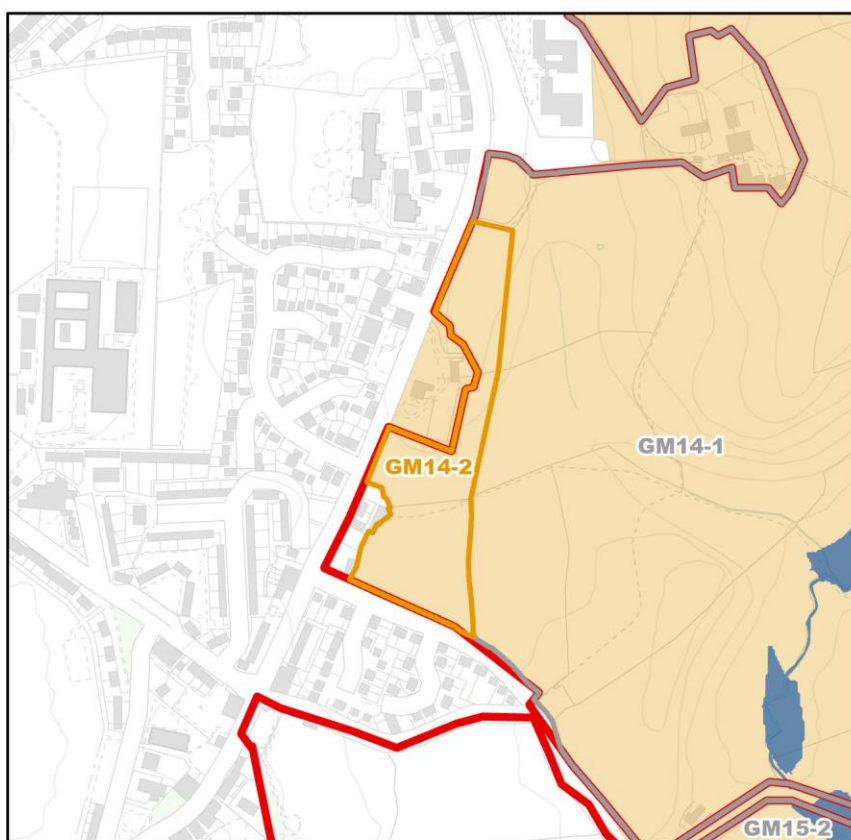
High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, a relatively significant impact on preventing the merger of towns, and a moderate impact on protecting the setting and special character of historic settlements. It would also constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as high.

GM14-2



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- Flood zone 3



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GM14-2

Area Description

Relatively flat land located on the eastern edge of Shaw. The land comprises open fields and Heyside Cricket Club in the south. The inset settlement edges to the north, south and east create a degree of urban containment across the sub-area. Oldham Road to the west and Bullcote Green road to the south of the sub-area create some distinction between the sub-area and the adjacent urban edge, however this distinction is limited due to the presence of the nursery site, cricket club building and houses located to the east and north of these roads respectively. A shallow valley defines the eastern edge of the sub-area, beyond which Shaw Side Hill has greater distinction from the inset settlement edge.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Shaw & Crompton is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. However, there is some sense of urban containment within the sub-area, and there is limited distinction between the sub-area and the adjacent urban edge, limiting its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

Releasing this land would reduce the gap between the town of Shaw & Crompton and the Sholver/Moorside suburb of Oldham. However, the major separating feature of Shaw Side Hill to the east of the sub-area would remain, limiting the role of the sub-area in the separation of these towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Release would encroach on the open land within the sub-area, which, despite retaining a sense of urban containment and having limited distinction from the adjacent urban edge, is generally perceived as countryside.

GM14-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM14-2

Impact on adjacent Green Belt

Rating: No/Negligible

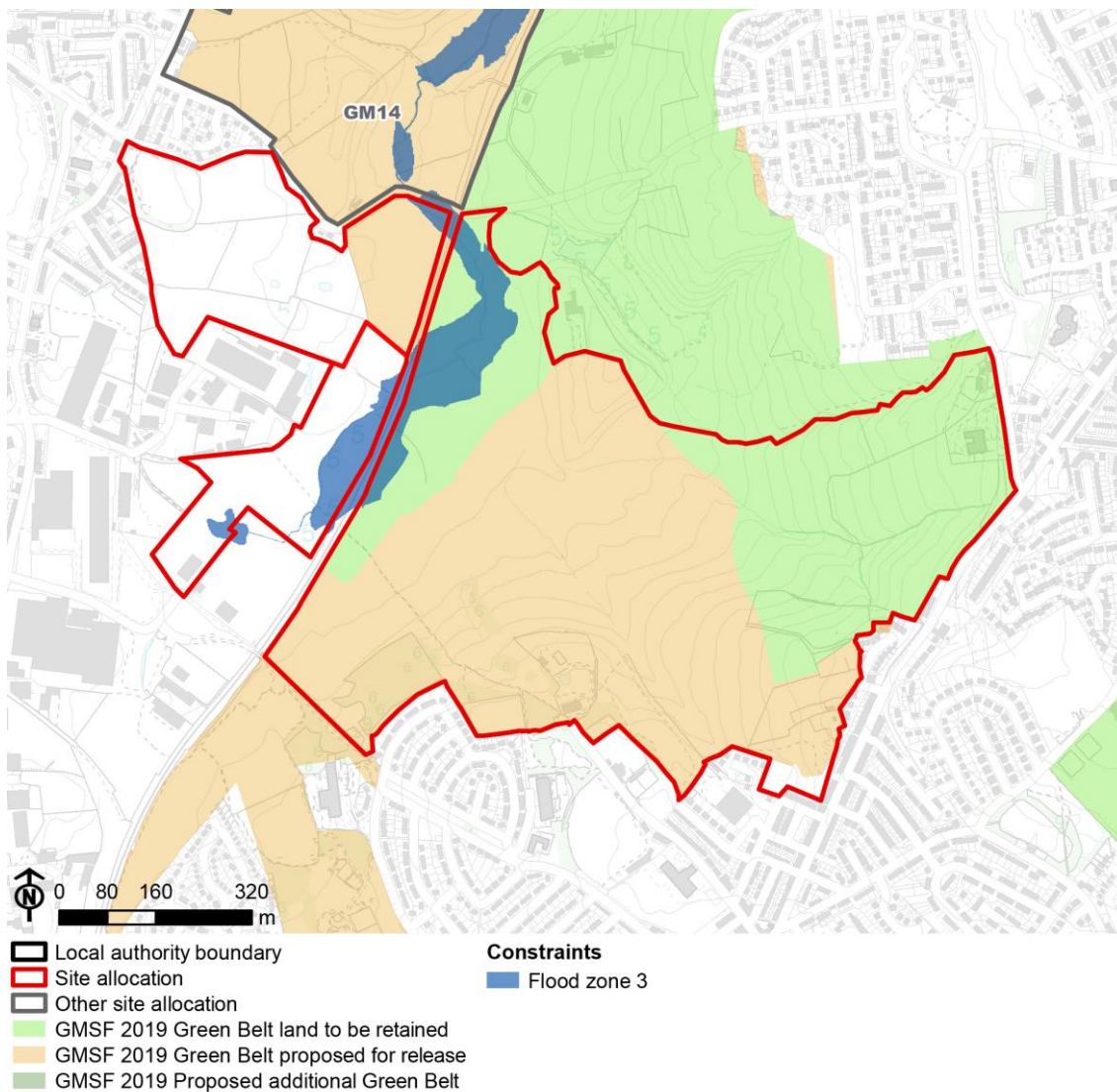
Due to the presence of Shaw Side Hill to the east, release of the sub-area, as part of the release of the Allocation as a whole, would not significantly increase containment of adjacent Green Belt land. Release would have no bearing on the strength of retained Green Belt land to the east, as the release of the Allocation as a whole would not weaken the distinction between inset settlement and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the sub-area would constitute relatively significant sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

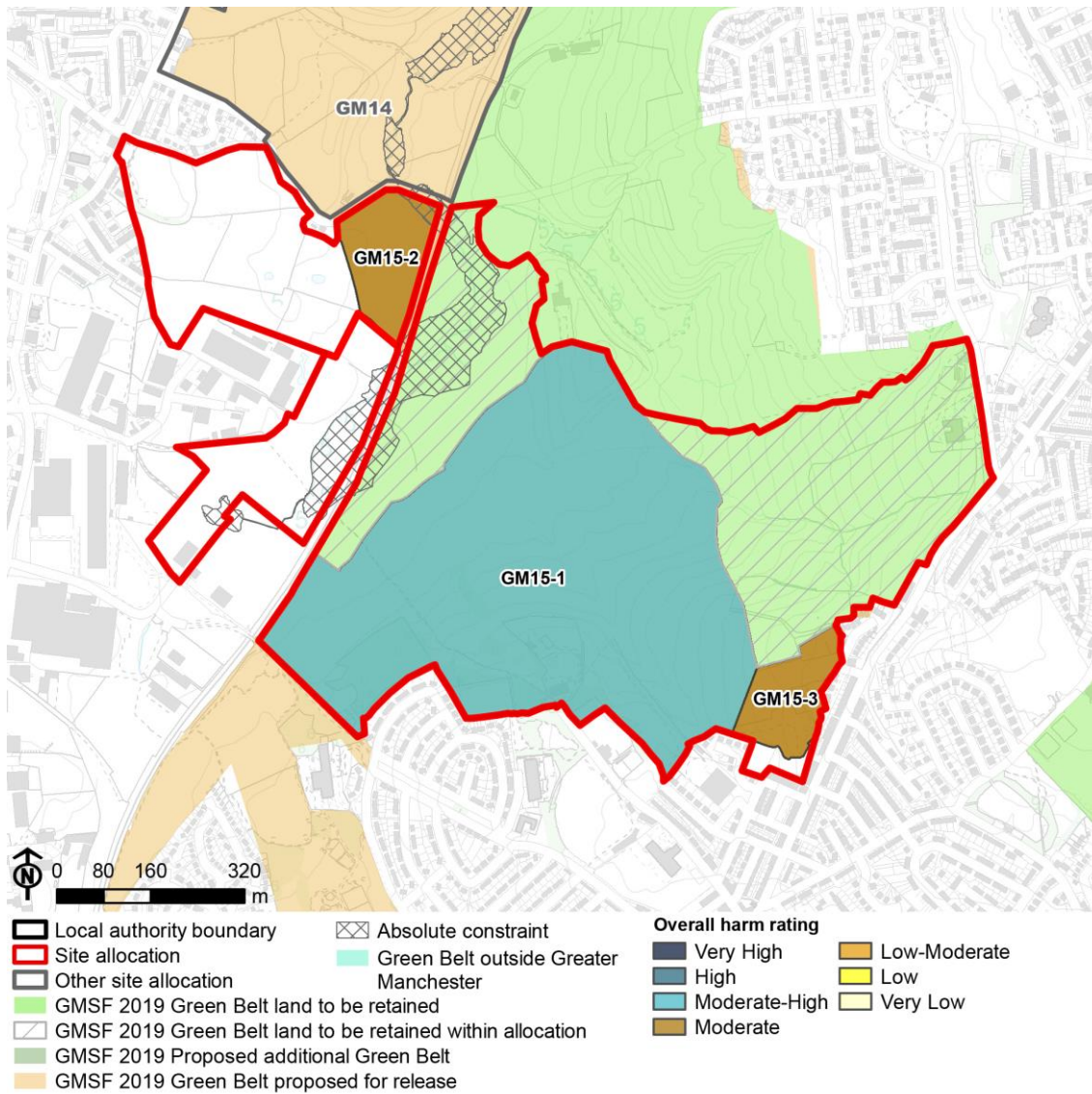
GM15 - Broadbent Moss



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Three distinct parcels of land comprising a former landfill site and open fields lying between Royton and Oldham, within the Metropolitan Borough of Oldham.

GM15



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GM15

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate-High | 34.6 |
| Moderate | 5.1 |
| Retained Green Belt | 25 |
| Total Allocation area | 81.6 |

GM15 is split into three sub-areas to reflect variations in harm to the Green Belt purposes. GM15 is comprised of three distinct parcels of land, however, the south western parcel and much of the north western parcel are not located within the Green Belt.

The Green Belt land within the Allocation predominantly comprises of an open former landfill site, as well as an open field to the northwest. The surrounding urban edge creates a degree of urbanising containment within the Allocation, and much of the land lacks distinction from the urban edge. As such, the majority of the Allocation makes a relatively significant contribution to checking the sprawl of Greater Manchester and preventing encroachment on the countryside, and a relatively significant contribution to maintaining separation between Royton and the Sholver/Moorside suburb of Oldham. In addition, the majority of the land makes a relatively limited contribution to maintaining the setting of the historic settlement areas located within Shaw.

Release of the Allocation would result in a weakening of the Green Belt boundary and although release would also increase containment of retained Green Belt land to the northeast, both within and adjoining the Allocation, the steeply sloping landform in this area, in part wooded, would preserve strong distinction from Sholver and Moorside. The contribution of the narrow retained strip of open land in the west of the Allocation would be more significantly weakened by increased containment and a weakened boundary, but as this area does not make a stronger contribution to the Green Belt purposes, the overall harm of release is not increased.

GM15

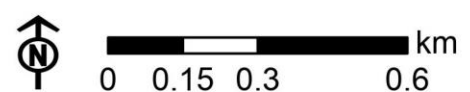
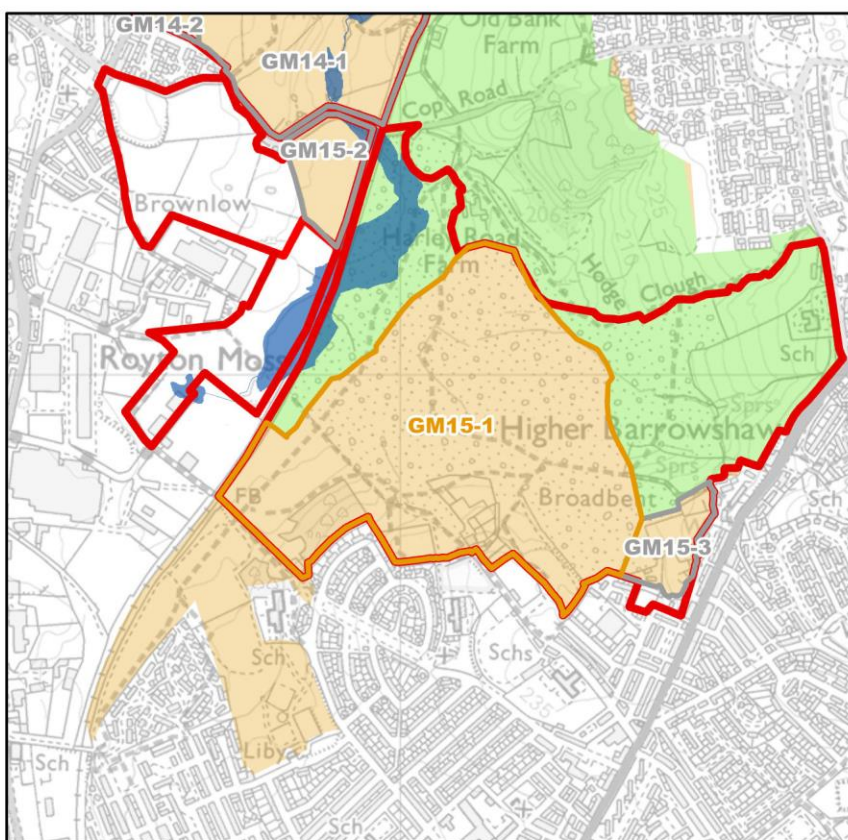
Potential to mitigate harm

Strengthening the boundary of the retained Green Belt land to the northeast and west of land to be released within the Allocation, such as by planting additional woodland, could potentially increase the future distinction between inset land and retained Green Belt land. This could help to limit the weakening of this land and its role in maintaining separation between Shaw & Crompton and the Sholver/Moorside suburb of Oldham.

GM15-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM15-1

Area Description

Part of a former landfill site close to the eastern edge of Royton and adjacent to the northern edge of Oldham. A belt of tree cover and a falling landform create some distinction from the edge of Oldham. Despite the presence of the dwelling in the south, the area contains no significant urbanising development to diminish openness. The inset settlement edges to the east, west and south create a degree of urban containment within the sub-area. A strip of retained Green Belt land within the Allocation preserves some separation between the sub-area and the edge of Royton, which is defined by a railway line, but the sub-area has no existing feature to define its western boundary. The sub-area also has no defined boundary feature to the east, but there is wider separation here from the inset edge of Oldham (in the Higher Barrowshaw area), and also a significant rise in elevation towards this inset edge.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Royton and Oldham are part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl.

The sub-area contains no urbanising development to diminish openness, however, the surrounding inset settlement edges create a degree of urban containment and the sub-area has limited distinction from the adjacent urban edge, which limits to an extent its role in preventing unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would reduce the gap between the town of Royton and the Sholver/Moorside suburb of Oldham. However, these settlements are already to a degree linked and the separating feature of the sloping land to the southwest of Sholver/Moorside would remain, limiting the role of the sub-area in the separation of these towns.

GM15-1

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this land would encroach on an old landfill site, which is open in character and perceived as open countryside. However, the surrounding inset settlement edges create a degree of urban containment and the sub-area has limited distinction from the adjacent urban edge, which limits to an extent its role in preventing encroachment.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Limited

The open land of the sub-area forms part of the wider setting of the historic settlement areas located within Shaw. Release of land would detract from this but would not affect key elements of historic character and setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM15-1

Impact on adjacent Green Belt

Rating: Minor

Although release of the sub-area would increase containment of retained Green Belt land to the northeast, the steeply sloping landform in this area, in part wooded, would preserve strong distinction from Sholver and Moorside. The contribution of the narrow retained strip of open land to the west of the sub-area would be more significantly weakened by increased containment and a weakened boundary, but as this area does not make a stronger contribution to the Green Belt purposes, the overall harm of release is not increased. The revised Green Belt boundary would, however, represent some weakening of the existing inset edge to the south, defined by tree cover and sloping landform.

Overall harm to Green Belt purposes from release of land

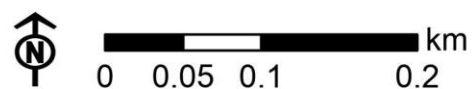
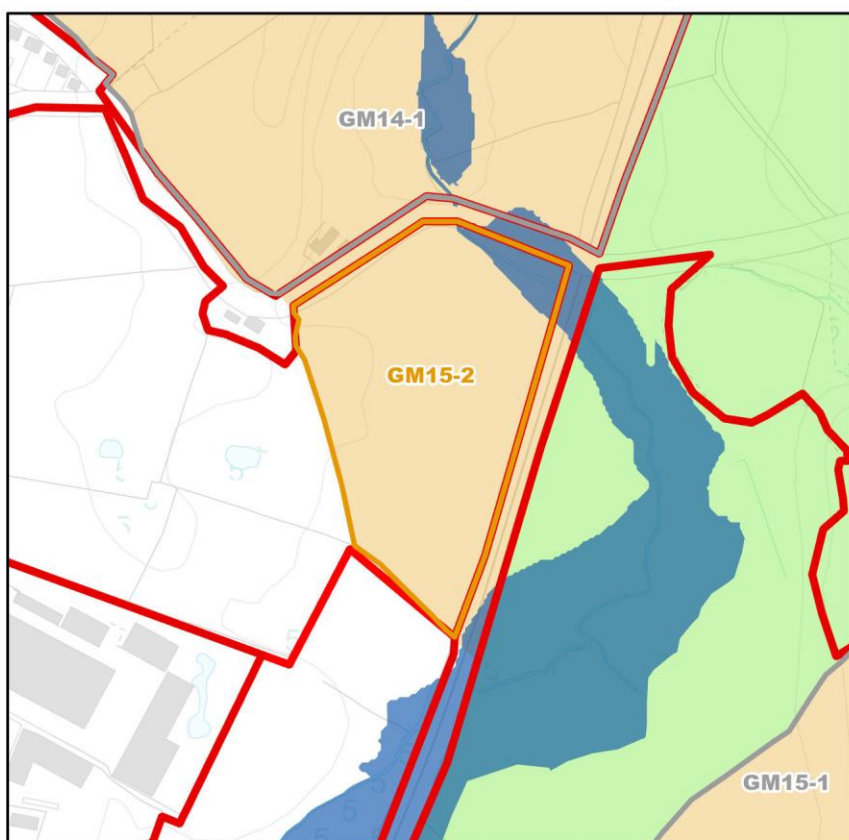
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, a moderate impact on preventing the merger of towns, and a relatively limited impact on protecting the setting and special character of historic settlements. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM15-2



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM15-2

Area Description

Open field adjacent to the eastern edge of Royton. The area contains no urbanising development to diminish openness, but the inset edge of Royton creates a degree of urban containment. There are no recognisable features to mark the distinction with the adjacent inset edge, and the outer boundary with adjacent retained Green Belt land to the east is defined by a railway line.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Royton is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The area is free of urbanising development to diminish openness, however inset land creates a degree of urban containment and the sub-area has limited distinction from the adjacent urban edge, which limits to an extent its role in preventing unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

Releasing this land would reduce the gap between the town of Royton and the Sholver/Moorside suburb of Oldham. However, these settlements are already to a degree linked and the separating features of the railway line to the east of the sub-area and the sloping land to the southwest of Sholver/Moorside would remain, limiting the role of the sub-area in the separation of these towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Although inset land creates a degree of urban containment, and landform and land cover do not create any significant distinction from the adjacent urban edge, the sub-area it is free of urbanising influences and therefore the release would encroach on land which is generally perceived as countryside.

GM15-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM15-2

Impact on adjacent Green Belt

Rating: No/negligible

Due to the existing containment of the sub-area by Bullcote Lane to the north and the railway line to the east, releasing this sub-area, as part of the release of the Allocation as a whole, would not increase the containment of any adjacent land and would result in a relatively simple and consistent boundary between the inset settlement and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

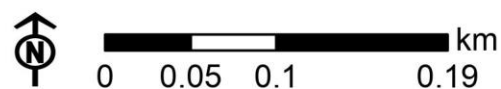
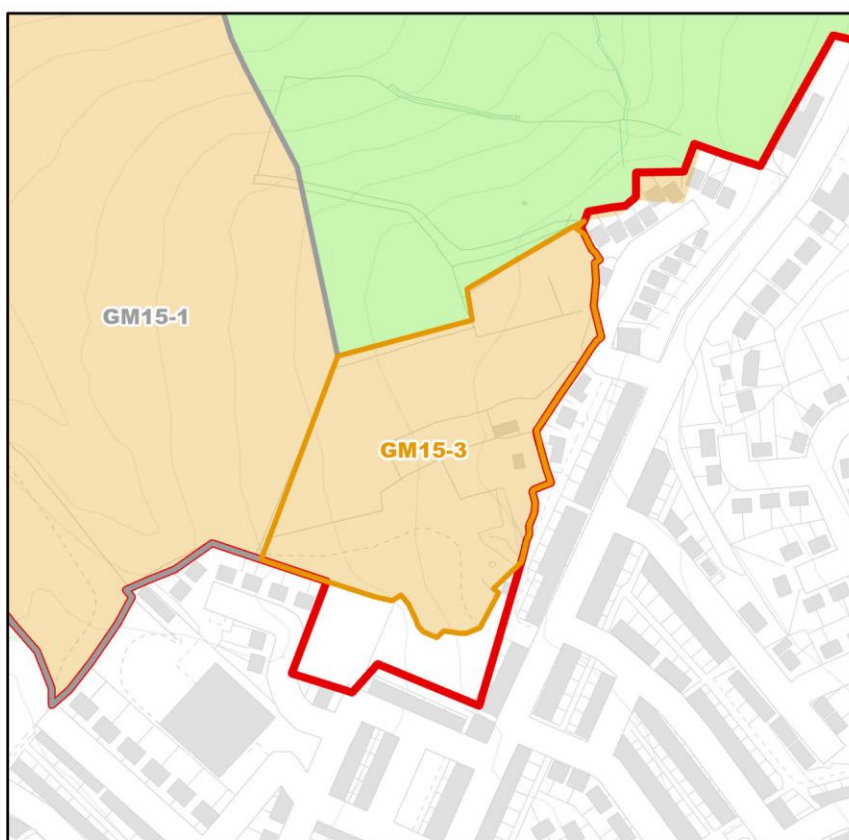
Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside and would have a relatively limited impact on preventing the merging of towns. It would constitute only a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

GM15-3



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt



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GM15-3

Area Description

Part of a former landfill site adjacent to the northern edge of Oldham, located on more gently sloping land than the remainder of the Allocation. The area contains no urbanising development to diminish openness, however the inset settlement edge to the south and east creates a degree of urbanising containment. The rear gardens of dwellings along Ripponden Road do not create any significant distinction from the adjacent urban edge to the east, whilst tree cover provides limited distinction to the south. Field boundaries mark the edge of the sub-area with the adjoining sub-area to the west and retained Green Belt land to the north.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Oldham is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area contains no urbanising development to diminish openness, however, the surrounding inset settlement edges create a degree of urban containment and the sub-area has limited distinction from the adjacent urban edge, which limits to an extent its role in preventing unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would reduce the gap between the town of Royton and the Sholver/Moorside suburb of Oldham. However, these settlements are already to a degree linked and the separating feature of the sloping land to the southwest of Sholver/Moorside would remain, limiting the role of the sub-area in the separation of these towns.

GM15-3

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this land would encroach on part of an old landfill site, which is open in character and perceived as open countryside. However, the surrounding inset settlement edges create a degree of urban containment and the sub-area has limited distinction from the adjacent urban edge, which limits to an extent its role in preventing encroachment.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Limited

The open land of the sub-area forms part of the wider setting of the historic settlement areas located within Shaw. Release of land would detract from this but would not affect key elements of historic character and setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM15-3

Impact on adjacent Green Belt

Rating: Minor

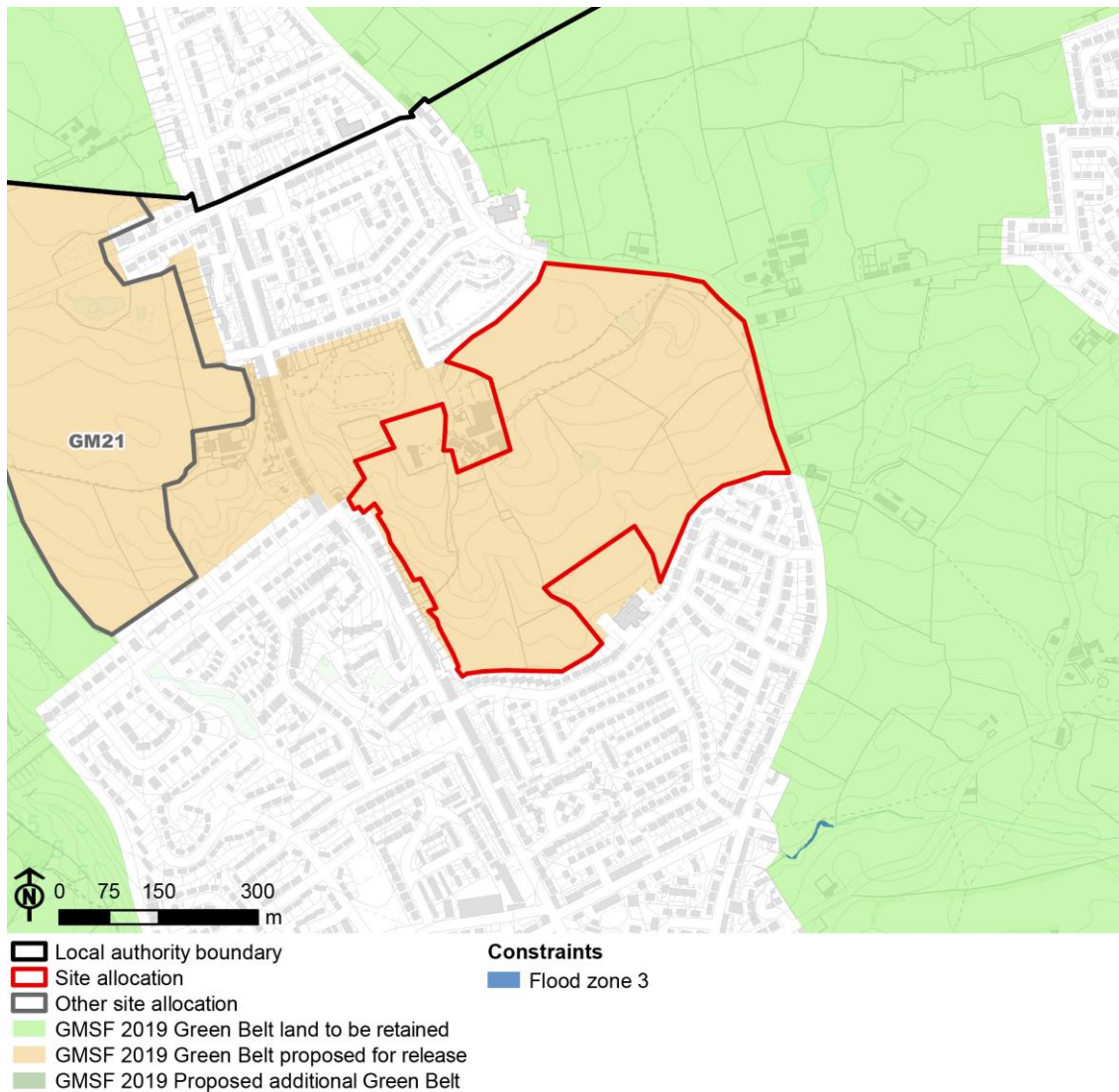
Release of the sub-area would not significantly increase the containment of any retained Green Belt land. Release of this sub-area, as part of the release of the Allocation as a whole, would weaken the Green Belt boundary by breaching the tree cover along the south of the sub-area.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, a moderate impact on preventing the merger of towns, and a relatively limited impact on protecting the setting and special character of historic settlements. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

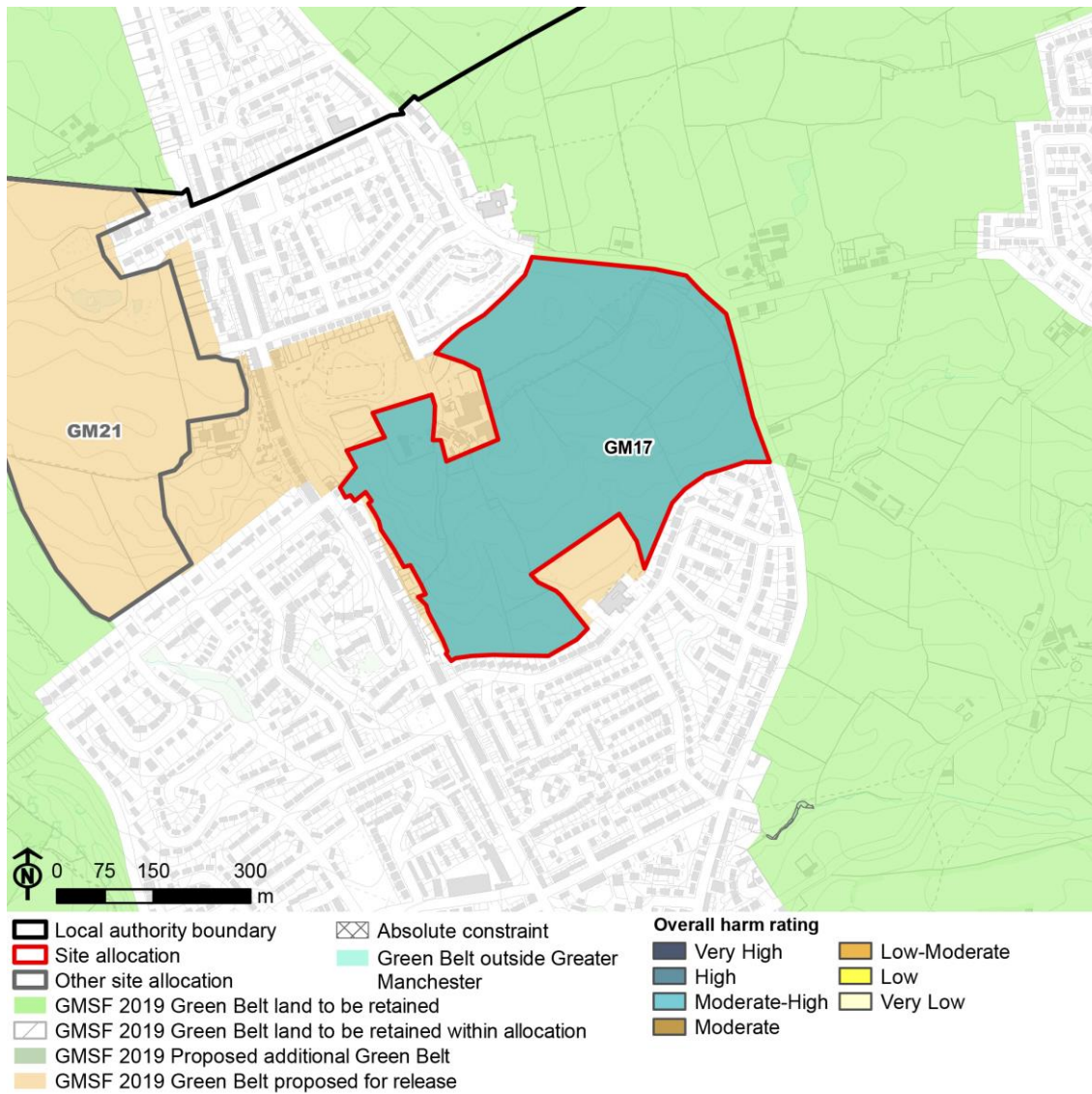
GM17 - Hanging Chadder



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Fields north of Royton, within the Metropolitan Borough of Oldham.

GM17



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GM17

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate-High | 22.7 |
| Total Allocation area | 22.7 |

The Allocation comprises of open fields. The surrounding urban edges create a degree of urbanising containment and, although there is some physical distinction between the Allocation and the urban edge, the scale of development within the surrounding inset settlement creates a sense of visual encroachment and limits the sense of separation between the Allocation and the urban edge. As such, the Allocation makes a relatively significant contribution to checking the sprawl of Greater Manchester, preventing the merger of Royton and Buersil Head and Rochdale beyond and preventing encroachment on the countryside. The land also makes a relatively significant contribution to preserving the setting of the historic settlement of Shaw (Park Cottages).

Release of the Allocation would not weaken the Green Belt boundary but would remove the existing gap between the town of Royton and the smaller settlement of Buersil Head, resulting in the latter forming part of the town.


The towns of Royton and Rochdale would consequently become more robustly connected by inset development, although the significant separating feature of the M62 motorway and Green Belt land to the northeast and northwest of the Allocation would remain. As such, release of the Allocation would constitute moderate-high harm to Green Belt purposes.

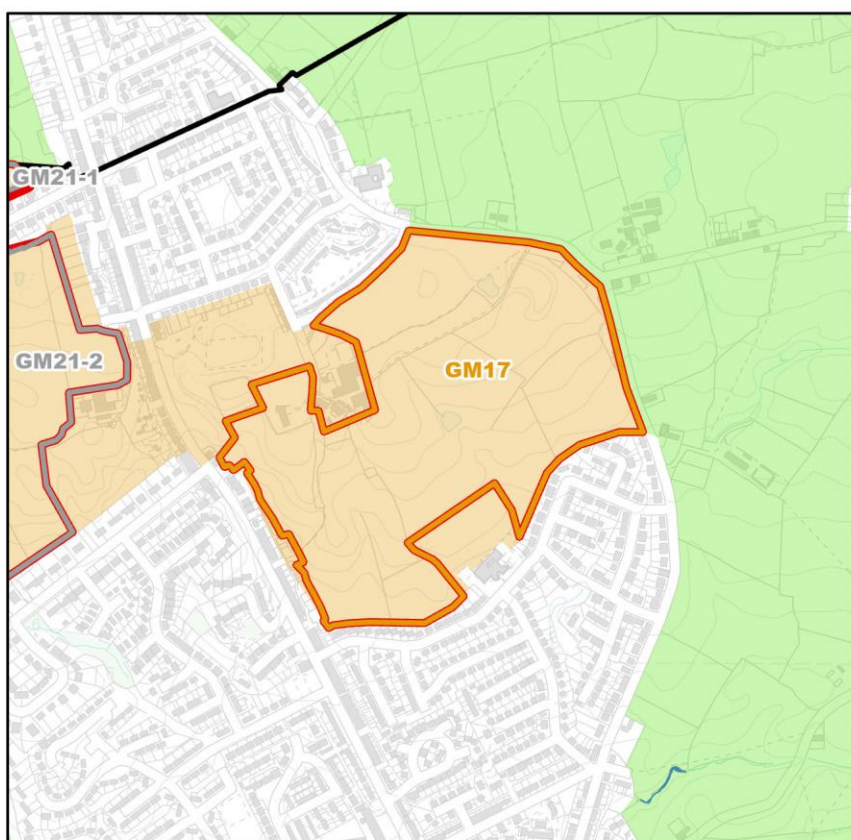
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM17



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM17

Area Description

Open fields divided by hedgerows with some tree lines and farm tracks. Land uses include ponds, a single dwelling in the northwest, a storage area and paddock associated with the adjoining farmstead to the north and two individual dwellings along the eastern edge of the Allocation. None of these uses constitute significant urbanising development that would diminish openness, however the presence of urbanising development on three sides of the Allocation creates a degree of urban containment. The slope of the land creates distinction from the adjacent urban edge, despite the urban edge being defined weakly for the most part by residential garden boundaries. However, the scale of development within the surrounding inset settlement creates a sense of visual encroachment and limits the sense of separation between the Green Belt and the urban edge. Castleton Road and Narrowgate Brow Road mark the edge of the Allocation with the wider Green Belt to the east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Royton forms part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. Although the Allocation is contained by the inset edge, it is also free of any urbanising development and the slope of the land creates some limited distinction from the adjacent urban edge, giving it some role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would remove the existing gap between the town of Royton and the smaller settlement of Buersil Head, resulting in the latter forming part of the town. The towns of Royton and Rochdale would consequently become more robustly connected by inset development, however the significant separating feature of the M62 motorway and Green Belt land to the northeast and northwest of the Allocation would remain.

GM17

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this Allocation would encroach on land which is free of urbanising development, but where the sense of containment and only limited distinction on the urban edge limit to an extent its relationship with open land to the east.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Significant

The sloping open fields within the Allocation are a key element of the setting of the historic settlement of Shaw (Park Cottages). Release of land would significantly diminish this.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM17

Impact on adjacent Green Belt

Rating: Minor

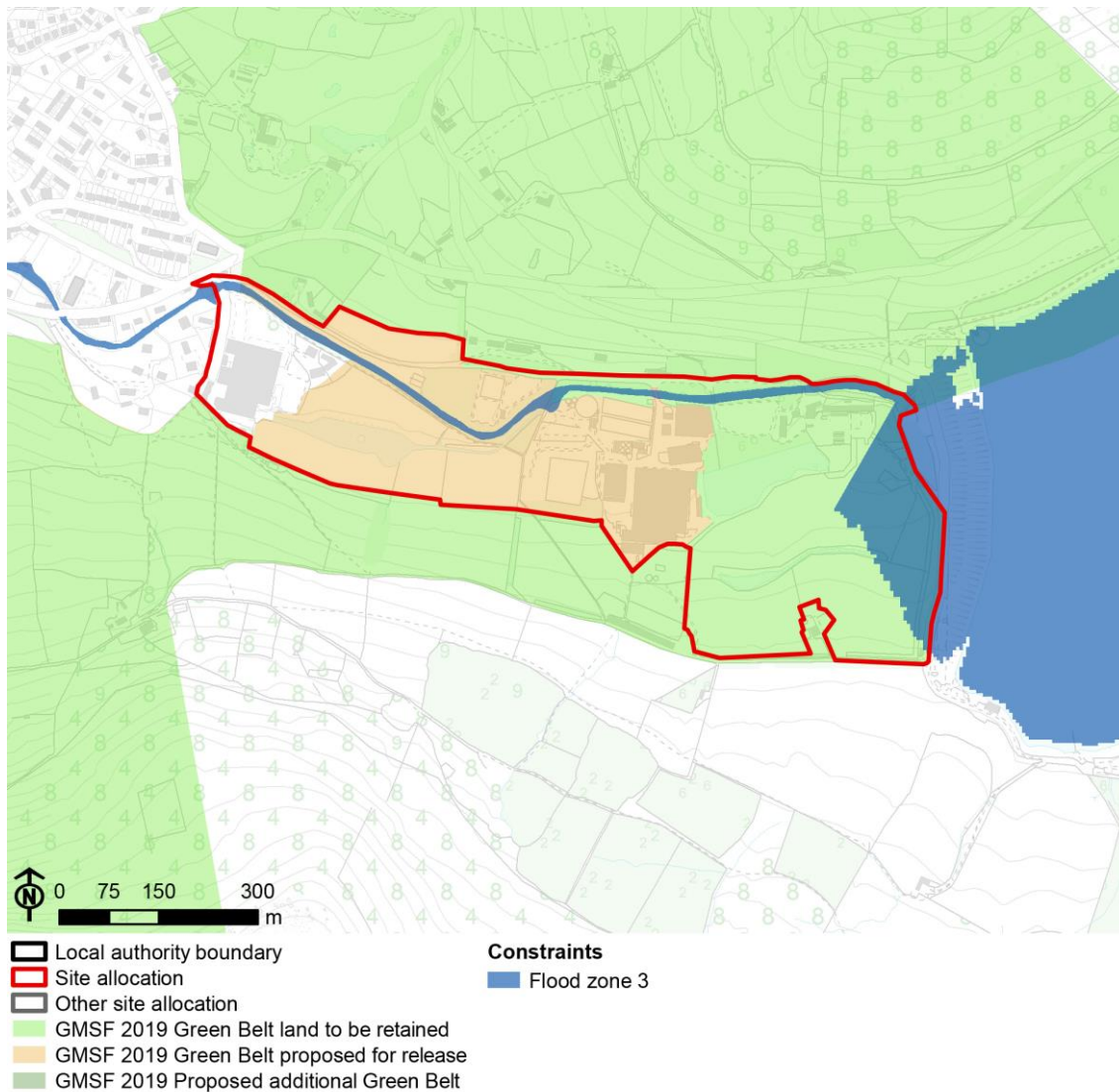
Releasing this Allocation would result in no significant change in strength of distinction between the inset settlement and the Green Belt, which would be defined by Castleton Road and Narrowgate Brow to the east. There would be a very limited weakening of separation between Royton and Shaw, and loss of separation between Royton and Buersil Head would weaken the remaining separation between Royton and Rochdale, although this separation is already weak, given the existing washed-over development along the A671.

Overall harm to Green Belt purposes from release of land

Moderate-High

Release of the Allocation would constitute relatively significant sprawl and encroachment on the countryside, a relatively significant impact on protecting the setting of historic settlements, and a moderate impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from release of the Allocation is therefore assessed as moderate-high.

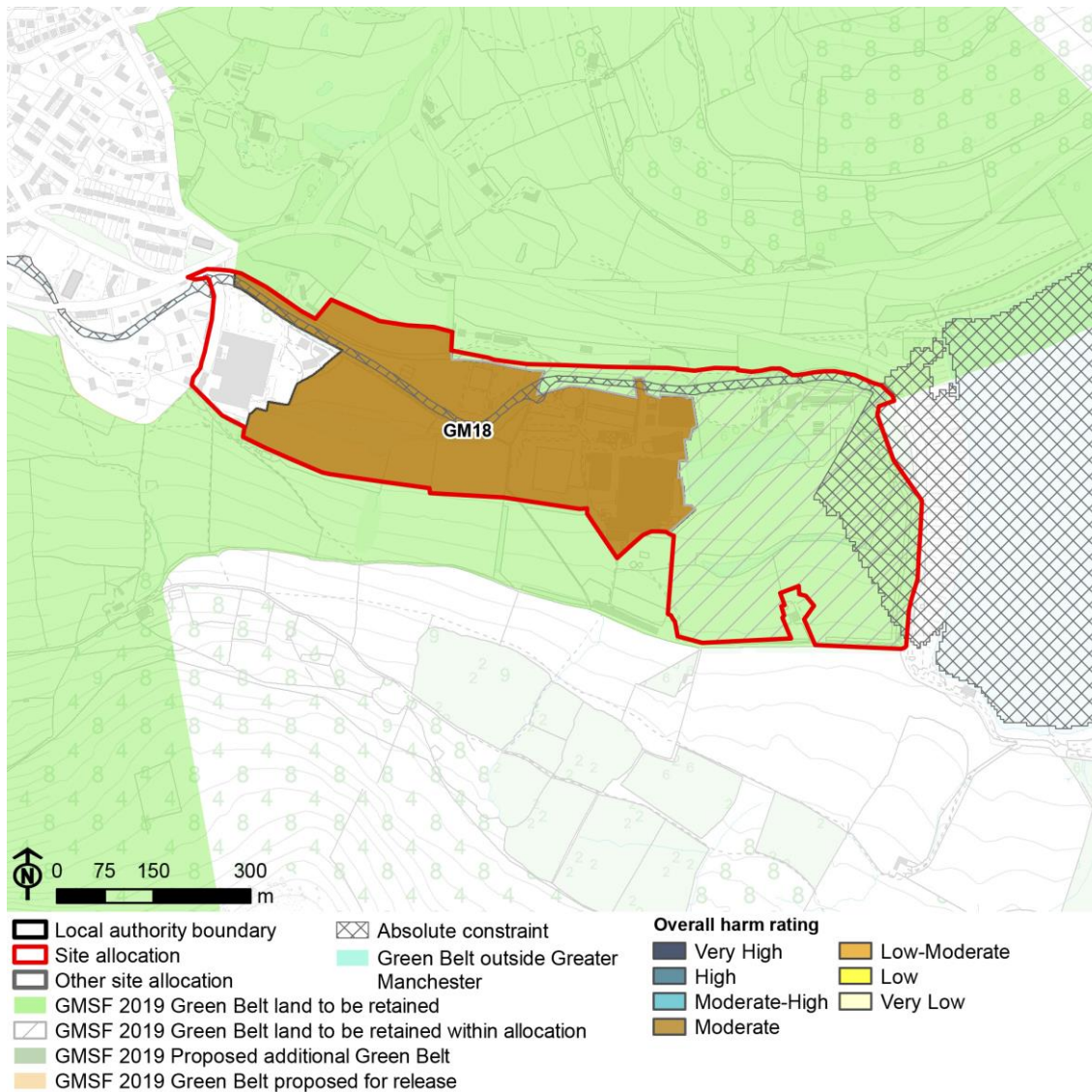
GM18 - Robert Fletchers



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Former mill site and surrounding open land east of Greenfield and adjacent to the Peak District National Park, within the Metropolitan Borough of Oldham.

GM18



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GM18

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate | 14.2 |
| Retained Green Belt | 15.3 |
| Total Allocation area | 32.3 |

The Allocation comprises predominantly of open fields divided by tree lines, Chew Brook, woodland blocks and ponds. A disused paper mill with associated building and hardstanding limits openness, but the Allocation retains sufficient areas of open space for there to be a relationship with adjacent open land. In addition, the Allocation is not contained by surrounding urbanising uses and retains distinction from the adjacent urban edge. As such, land within the Allocation makes a relatively significant contribution to preventing encroachment on the Countryside, and a relatively limited contribution to checking the sprawl of Greater Manchester. The land also makes a relatively limited contribution to preserving the setting of the historic town of Greenfield.

Release of the Allocation would not weaken the Green Belt boundary and although only narrow strips of Green Belt would remain to the south and east, including the Green Belt land within the east of the Allocation proposed to be retained at Green Belt, these border the Peak District National Park designation, which provides sufficient protection from development to prevent any potential urbanising containment. Release of the Allocation would therefore constitute moderate harm to Green Belt purposes.

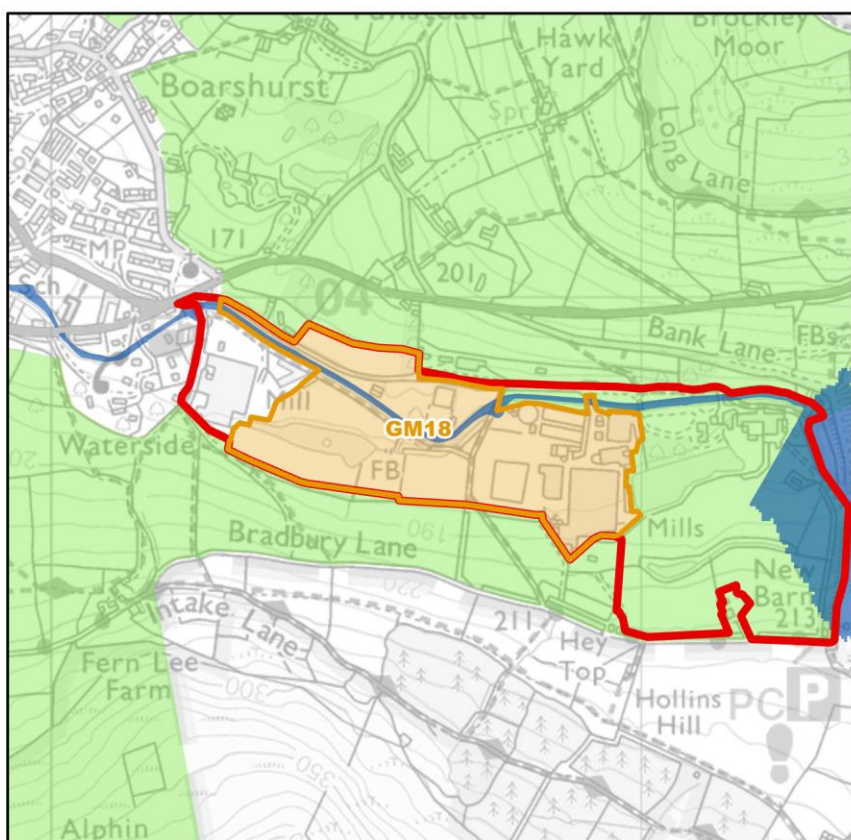
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM18



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



0 0.13 0.25 0.5 km

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GM18

Area Description

Open fields divided by tree lines, Chew Brook, woodland blocks and ponds. Land uses include a disused paper mill with associated building and hardstanding. The easternmost part of the Allocation is constrained by floodplain and the westernmost part of the Allocation is located outside of the Green Belt designation. The Allocation contains some limited urbanising development, however this is separate from the inset urban settlement edge to the west and the Allocation retains sufficient areas of open space for there to be a relationship with adjacent open land. The Allocation is not contained by surrounding urban edges, and the limited boundary with the inset edge to the west is defined by a combination of woodland bands, tree lines and hedgerow, providing some distinction from urbanising uses. The outer boundary with adjacent Green Belt land is defined by rising open land to the north, southwest and southeast, and to the east the Allocation adjoins the Dovestones Reservoir - which is not within designated Green Belt land but does lie within the Peak District National Park. Land to the east of the disused paper mill and to the north of the mill beyond Chew Brook is proposed to be retained within the Green Belt.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

Greenfield is not part of the large built-up area of Greater Manchester, but close enough to it to have a relationship. Releasing this land would extend the settlement of Greenfield but would not diminish its separation from the large built-up area.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The Allocation does not lie in the gap between neighbouring towns.

GM18

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Although the Allocation contains some development, releasing this land would nonetheless encroach on land which is generally perceived as countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Limited

Releasing this land would detract from the wider setting of the historic town of Greenfield but would not diminish the components important to its historic character.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM18

Impact on adjacent Green Belt

Rating: No/Negligible

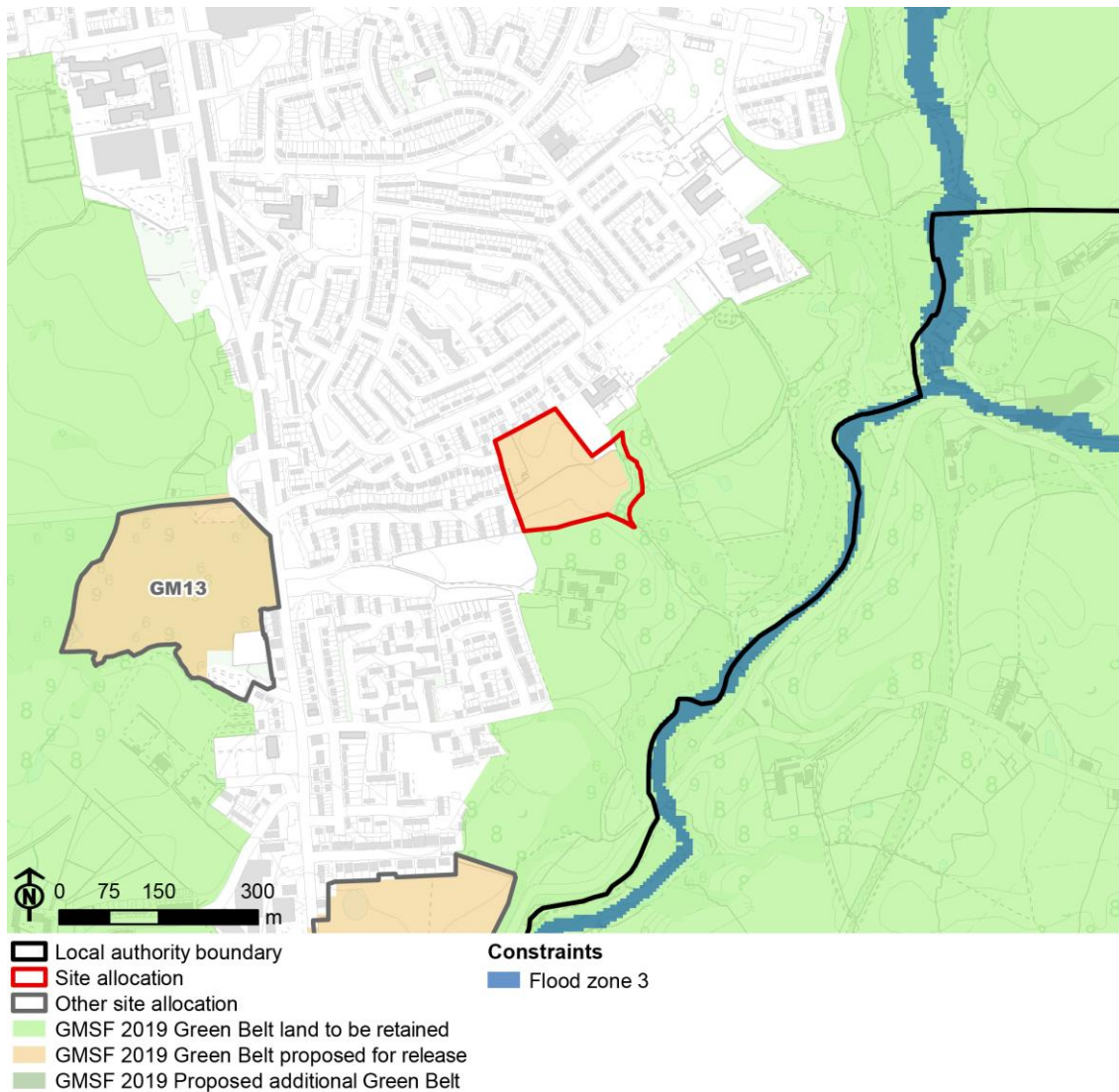
The Allocation is bordered by elevated land to the north and south which has a strong sense of distinction from the Allocation. Although only narrow strips of Green Belt would remain to the south and east, these border the Peak District National Park designation, which provides sufficient protection from development to prevent any potential urbanising containment. In addition, release of this Allocation would result in no significant change in strength of distinction between the inset settlement and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the Allocation would constitute relatively significant encroachment on the countryside, relatively limited sprawl, and a relatively limited impact on protecting the setting of historic towns. It would also constitute a negligible weakening of retained Green Belt land. Harm from release of the Allocation is therefore assessed as moderate.

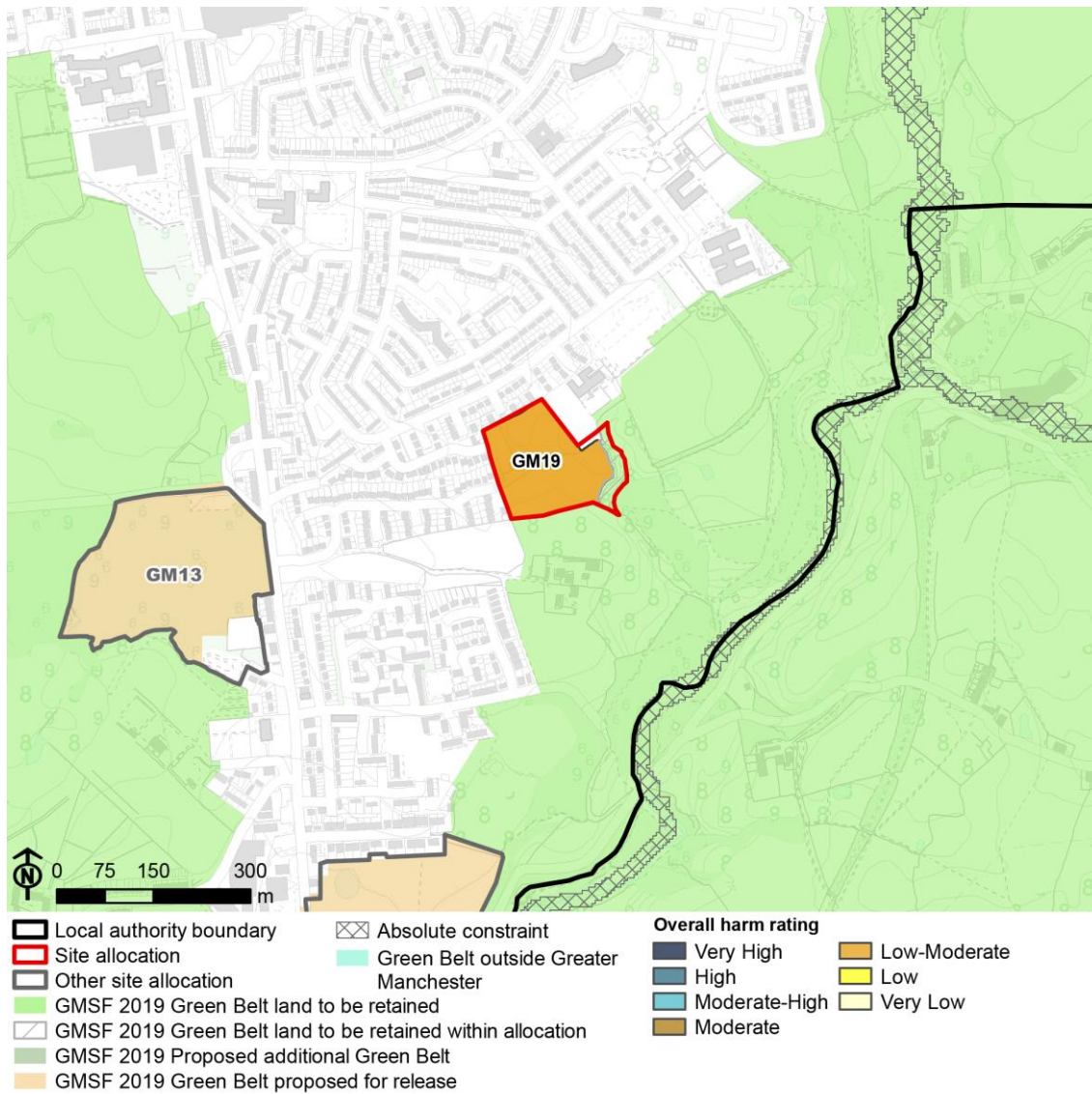
GM19 - South of Rosary Road



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Grassland south of the Fitton Hill Estate, within the Metropolitan Borough of Oldham.

GM19



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GM19

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Low-Moderate | 2.3 |
| Retained Green Belt | 0.3 |
| Total Allocation area | 2.7 |

The Allocation comprises of open grassland. The adjoining urban edge creates a degree of urbanising containment and land within the Allocation lacks distinction from the urban edge. It therefore makes a moderate contribution to checking the sprawl of Greater Manchester and a relatively limited contribution to preventing encroachment of the countryside.







Release of the Allocation would not significantly increase the containment of any retained Green Belt land. In addition, it is proposed to retain the band of woodland on the eastern edge of the Allocation as Green Belt, which would provide a strong alternative boundary between the inset settlement and the Green Belt. Although there is no existing boundary feature to the south, the Allocation edge would provide a consistent alignment with existing residential development to the west, and would not be any weaker than the present Green Belt boundary. Harm to the Green Belt purposes from release of the Allocation would therefore be low-moderate.

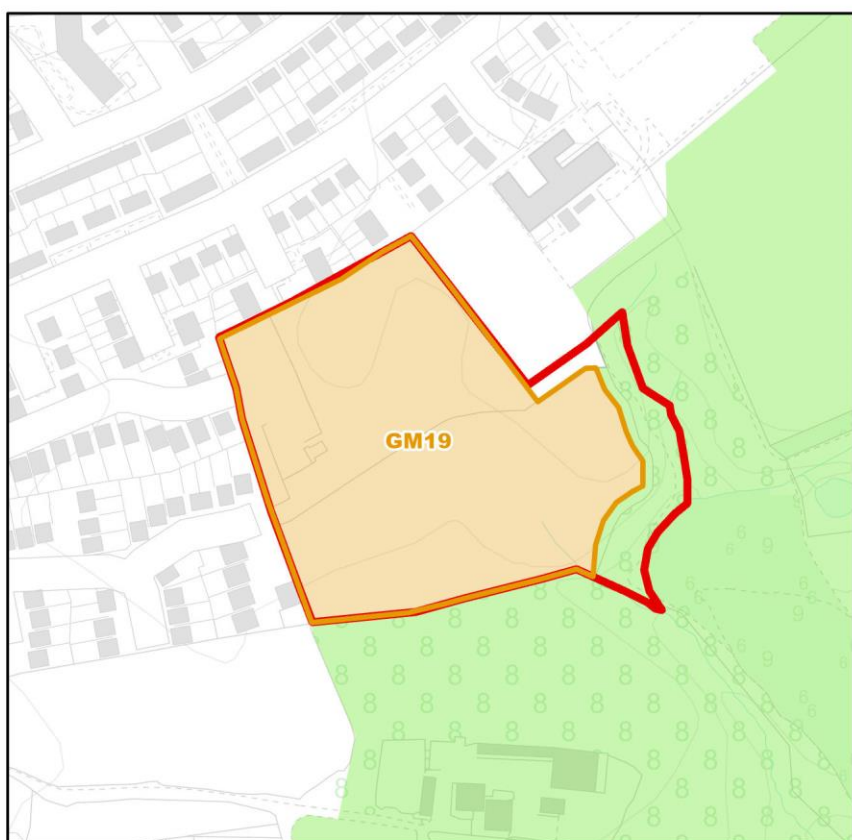
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation. Nevertheless, strengthening the boundary of the retained Green Belt land to the south of the Allocation could potentially increase the future distinction between inset land and retained Green Belt land.

GM19



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt



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Area Description

Area of open grassland adjacent to the southern edge of the Fitton Hill Estate (Oldham), sloping gently down toward the wooded valley of the River Medlock to the south. The Allocation contains no urbanising development to diminish openness, but the surrounding settlement edge to the north and (partially) to the east creates a degree of urbanising containment. Residential garden boundaries do not create any significant distinction from the adjacent urban edge. The boundary with adjacent retained Green Belt land to the south is marked in part by the edge of a woodland block and in part is not marked by any recognisable boundary. The wooded eastern fringe of the Allocation, occupying land sloping down to a tributary of the River Medlock, is proposed to be retained within the Green Belt.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

The Fitton Hill Estate (part of Oldham) forms part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The Allocation is relatively open visually, but the lack of significant distinction on the urban edge limits to a degree its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The Allocation does lie between the towns of Oldham and Ashton under Lyme (Tameside) but, given its containment by the inset edge, is more closely related to the former. The thickly wooded River Medlock Valley to the south also remains as a separating feature between the two.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

The release would encroach on land which is free of urbanising development but which, due to its containment by adjacent urbanising uses, retains a relatively strong association with the urban area to the north.

GM19

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM19

Impact on adjacent Green Belt

Rating: No/negligible

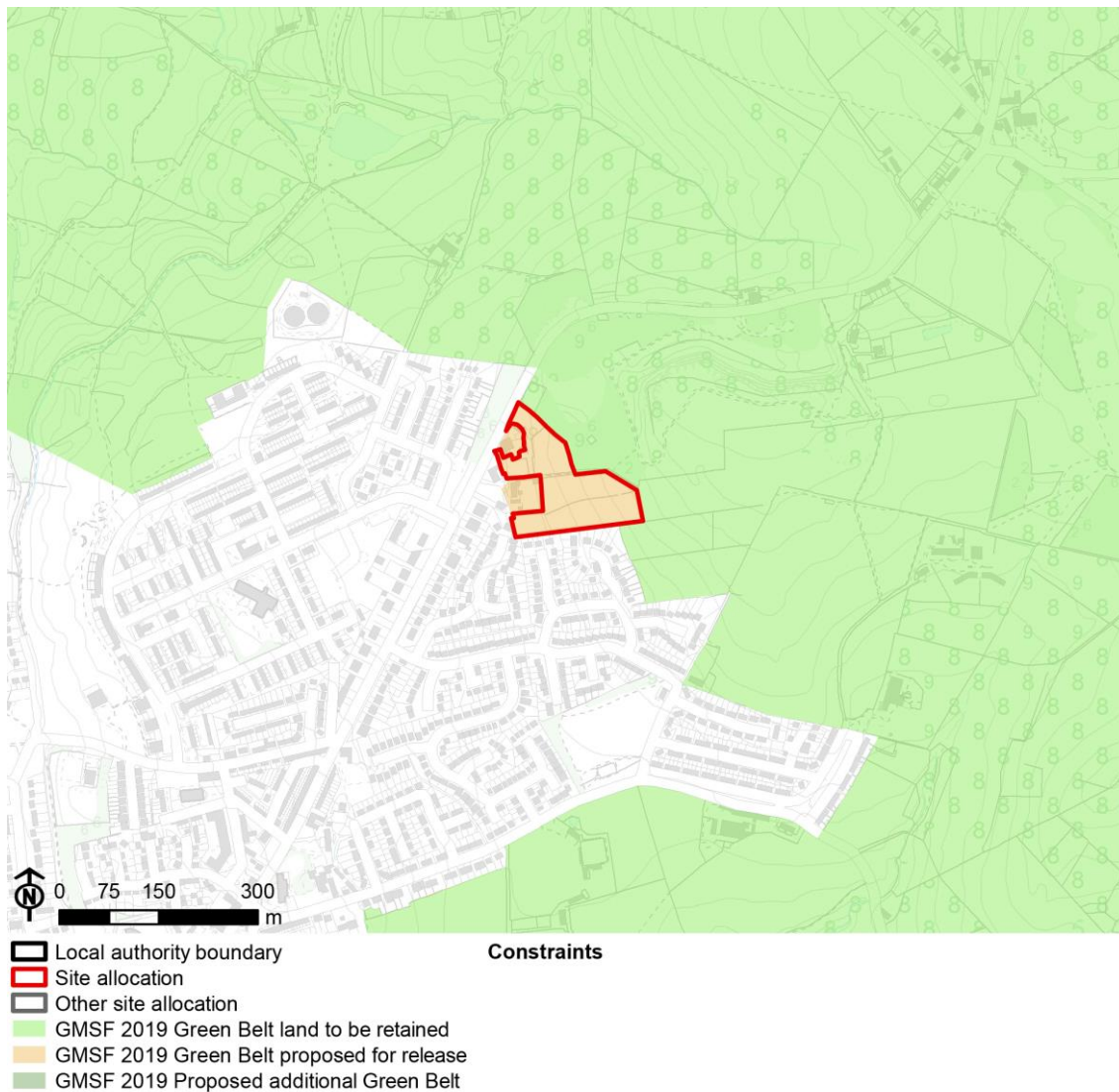
Due to the extent of its own containment, releasing this land would not significantly increase the containment of any retained Green Belt land. The retention of the wooded edge to the east would provide a strong boundary between the inset settlement and the Green Belt, and although there is no existing boundary feature to the south, the Allocation edge would provide a consistent alignment with existing residential development to the west, and would not be any weaker than the present inset settlement edge alongside the Allocation.

Overall harm to Green Belt purposes from release of land

Low-Moderate

Release of the Allocation would constitute moderate sprawl and relatively limited encroachment on the countryside. It would constitute only a negligible weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as low-moderate.

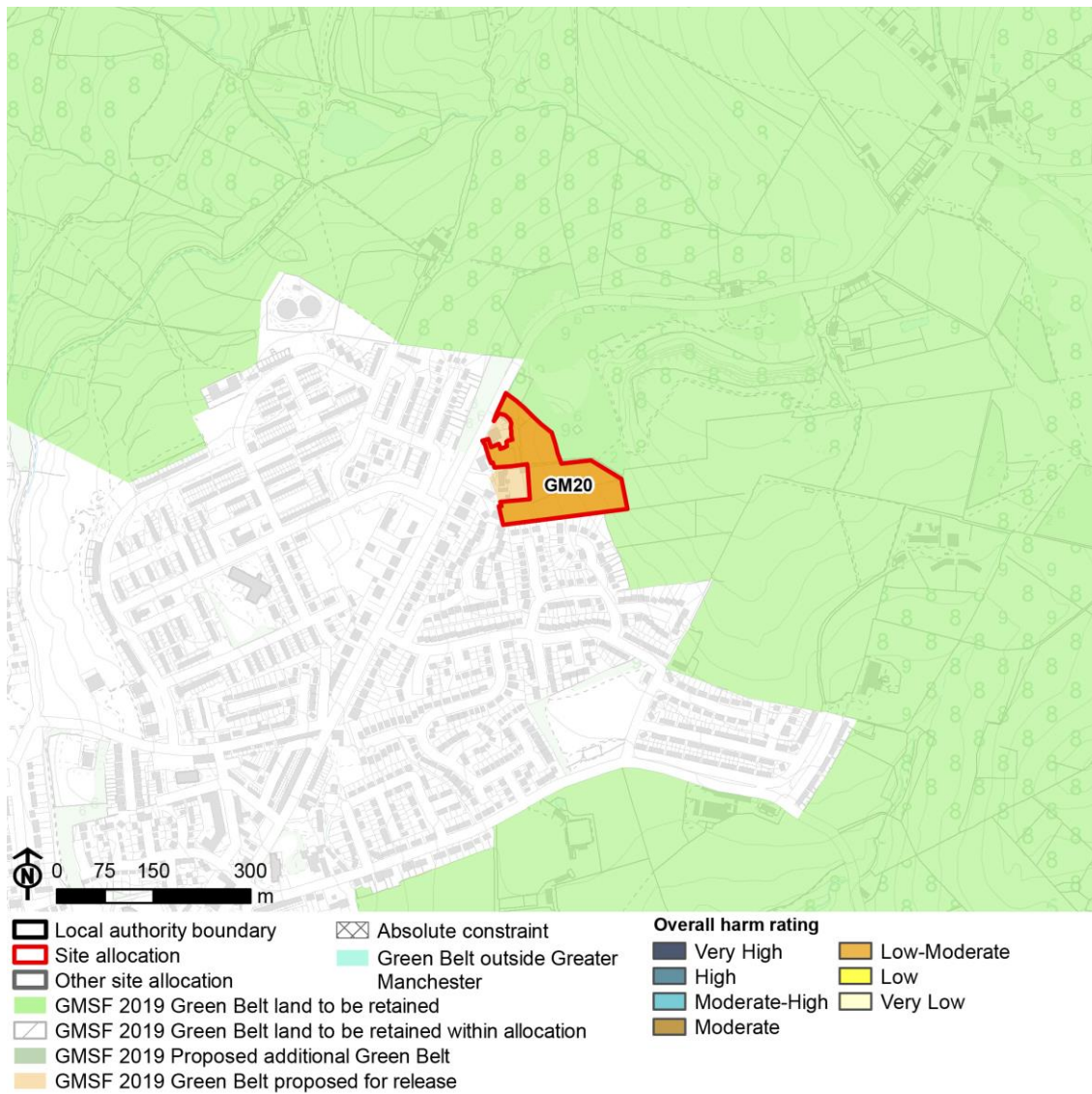
GM20 - Spinners Way / Alderney Farm



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Farmland east of Sholver, within the Metropolitan Borough of Oldham.

GM20



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Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Low-Moderate | 2 |
| Total Allocation area | 2 |

The Allocation comprises of elevated open fields. The adjoining urban edge creates a degree of urbanising containment and land within the Allocation lacks distinction from the urban edge. As such, the land within the Allocation makes a moderate contribution to checking the sprawl of Greater Manchester and preventing encroachment of the countryside. It also makes a relatively limited contribution to preserving the setting of the historic settlement areas within the town of Shaw.

Release of the Allocation would not increase the containment of any retained Green Belt land or loss of boundary distinction between the inset settlement and retained Green Belt land. Release of the Allocation would therefore constitute low-moderate harm to Green Belt purposes.








Potential to mitigate harm

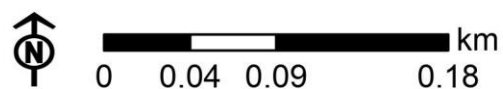
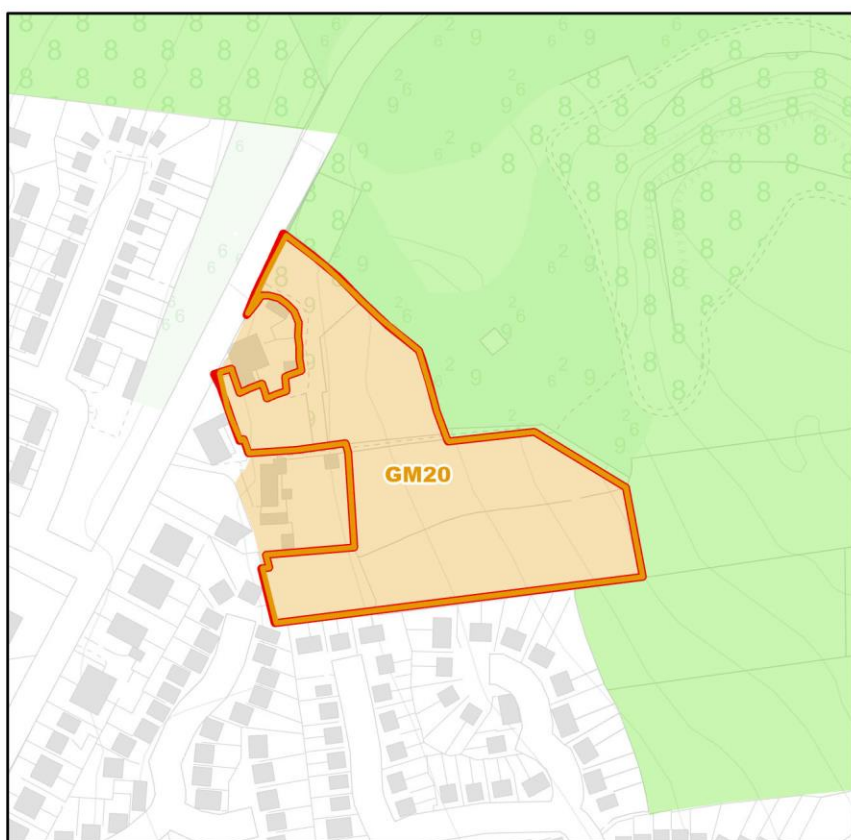
Release of the Allocation would therefore constitute low-moderate harm to Green Belt purposes.

Strengthening the boundary of the Allocation with the retained Green Belt land to the east, for example by planting additional woodland extending the existing woodland to the north, could potentially increase the future distinction between inset land and retained Green Belt land, limiting the weakening of the Green Belt boundary as a result of release of the Allocation.

GM20



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt



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Area Description

Elevated open fields divided by hedgerow, including a driveway and garden associated with an adjoining dwelling to the northwest of the Allocation, located on the north of Moorside, within Oldham Borough. Bound by woodland to the northeast, the A672 and a dwelling to the northwest, and dwellings to the south and west. The open fields contain no urbanising development to diminish openness. The urban edge to the south, west and northwest creates a degree of urban containment within the Allocation and tree-lined residential garden boundaries provide minimal distinction from surrounding urbanising uses. The outer boundary adjoining retained Green Belt land to the northeast is defined by woodland, and to the east is marked by rising fields.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Sholver/Moorside (Oldham) is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. However, despite the absence of urbanising uses within the Allocation, the sense of containment and lack of distinction on the urban edge limit to the extent to which development here would be considered as unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The nearest towns, Delph and Denshaw, are too distant to be considered truly 'neighbouring'.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing this Allocation would encroach on land which is free of urbanising uses, but where the sense of containment by the urban edge and the minimal distinction from urbanising uses within Sholver limit to an extent the land's relationship with open countryside lying to the east.

GM20

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Limited

The sloping open land within the Allocation is an element of the setting of the historic settlement areas within the town of Shaw. Release of land would detract from this but would not affect key elements of historic character and setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM20

Impact on adjacent Green Belt

Rating: No/negligible

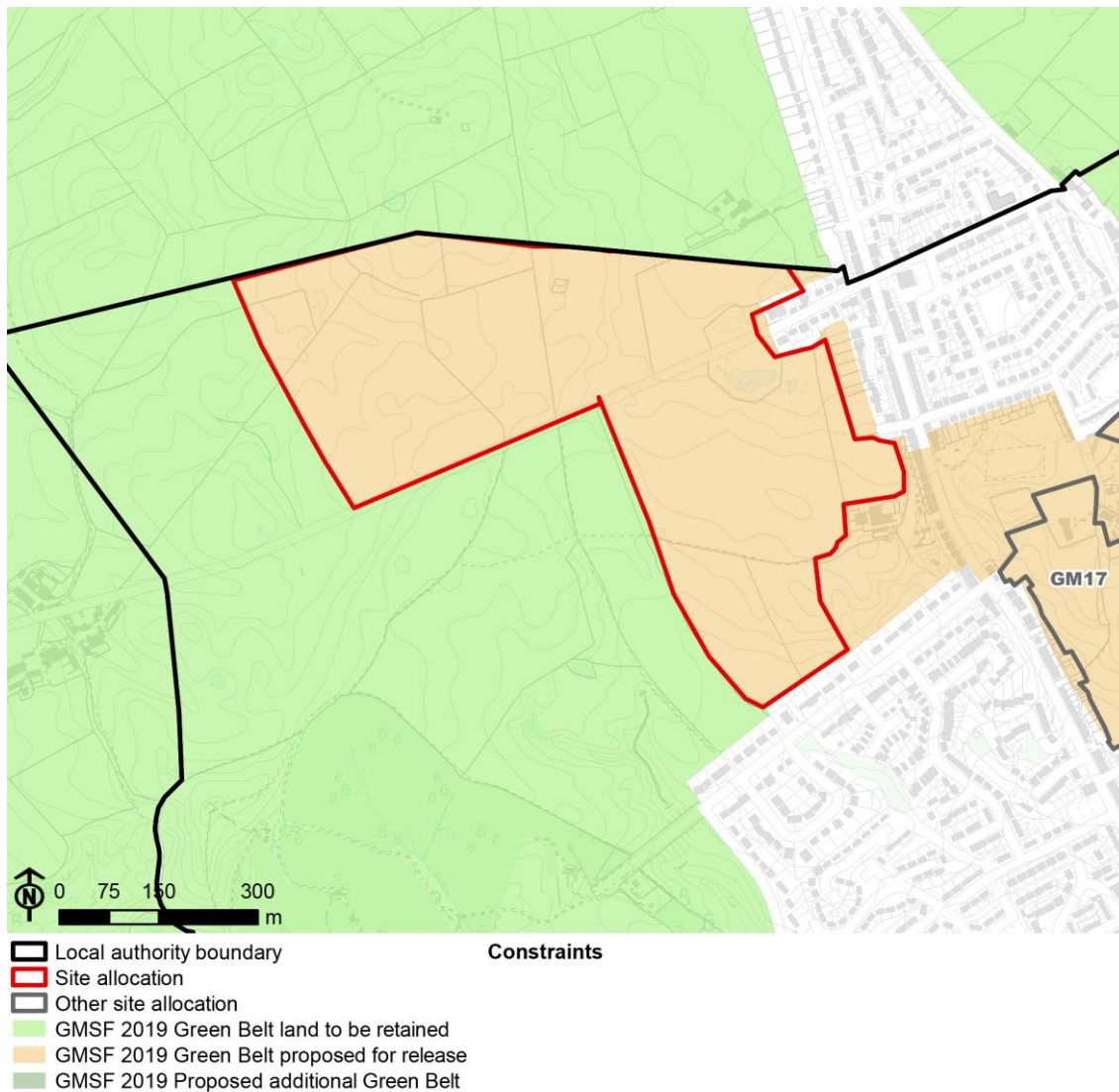
As the Allocation is significantly contained by urbanising development and woodland, releasing it would not increase the containment of any retained Green Belt land. The existing inset edge boundary provides only weak distinction between settlement and countryside, so a revised boundary, mostly wooded but in part a weaker field boundary, would not represent any weakening of distinction.

Overall harm to Green Belt purposes from release of land

Low-Moderate

Release of the Allocation would constitute moderate sprawl, moderate encroachment on the countryside, and would have a relatively limited impact on protecting the setting of historic settlements. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as low-moderate.

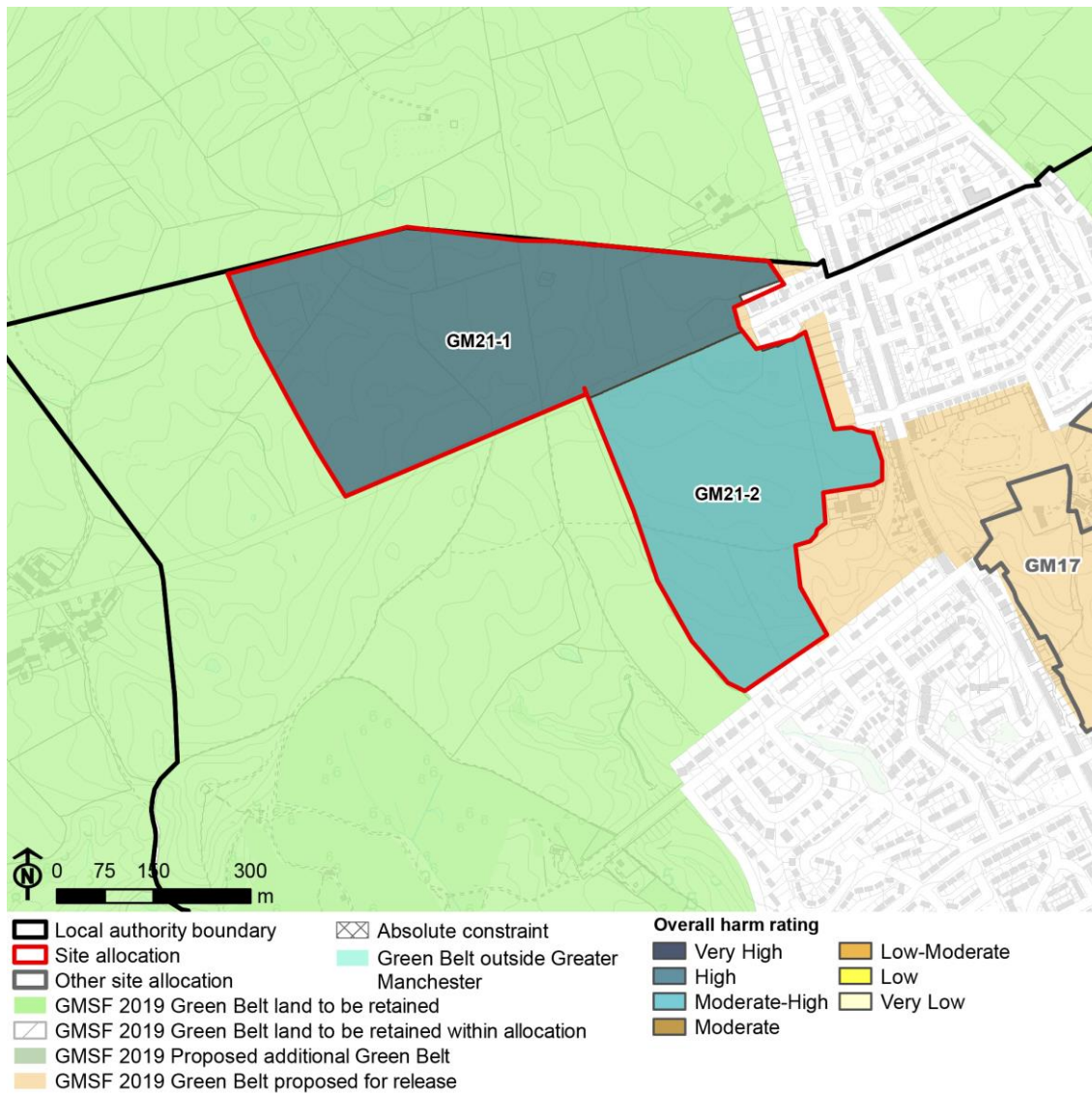
GM21 - Thornham Old Road



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Farmland north of Royton, within the Metropolitan Borough of Oldham.

GM21



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GM21

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| High | 20.3 |
| Moderate-High | 14.3 |
| Total Allocation area | 34.7 |

GM21 is split into two sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation comprises of open fields which have some distinction from the adjacent urban edge. The adjoining urban edge creates a degree of containment in the east of the Allocation, whilst the west of the Allocation is uncontained by urbanising development. As such, the Allocation makes a relatively significant contribution to checking the sprawl of Greater Manchester and preventing encroachment of the countryside, and a moderate contribution to maintaining the separation of Royton and Rochdale. Land in the east of the Allocation also makes a relatively limited contribution to preserving the setting of the historic settlement of Royton.








Release of the Allocation would increase the containment of retained open land to the north and southwest, and would result in a weaker Green Belt boundary. Release would also remove the existing gap between the town of Royton and the smaller settlement of Buersil Head, resulting in the latter forming part of the town. The towns of Royton and Rochdale would consequently become more robustly connected by inset development, however the significant separating feature of the M62 motorway and Green Belt land to the northeast and northwest of the Allocation would remain. Release of the Allocation would constitute high harm to Green Belt purposes.

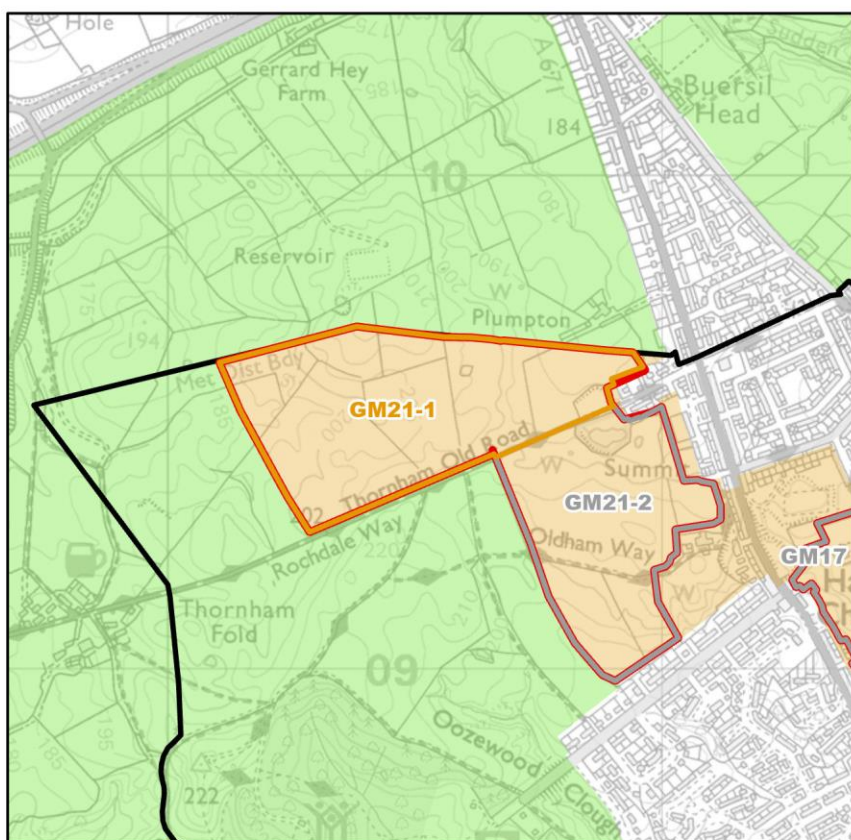
Potential to mitigate harm

Strengthening the boundary of the Allocation with surrounding retained Green Belt land could potentially increase the future distinction between inset land and retained Green Belt land, limiting the weakening of the Green Belt boundary as a result of release of the Allocation. This could also help to limit the weakening of land between Royton and Rochdale and limit the perception of these settlements merging.

GM21-1



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt



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GM21-1

Area Description

Sloping fields lying between Royton (Oldham) and Rochdale. The sub-area contains no urbanising development to diminish openness and is not significantly contained by urbanising development. The sub-area shares only a short stretch of boundary with the urban edge to the east, which is defined by some tree cover and provides only minimal distinction between the Green Belt and the urban edge. The sub-area directly adjoins retained Green Belt land to the north and west and Thornham Lane marks the edge of the sub-area with retained Green Belt land to the south.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Buersil Head is part of the large built-up area of Greater Manchester so development expanding this area would constitute sprawl. Although open and uncontained by urbanising development, the limited distinction between the sub-area and the adjacent urban edge limits its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing land in this sub-area would reduce the gap between towns (Royton and Rochdale), but the significant separating feature of the M62 motorway and Green Belt land to the north and south of the sub-area would remain.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

The openness and lack of significant containment within this sub-area give it a relatively strong relationship with adjacent open countryside, however the limited distinction between the sub-area and the adjacent urban edge limits its role in preventing encroachment.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM21-1

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM21-1

Impact on adjacent Green Belt

Rating: Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would increase the containment of retained open land to the north and southwest. The release would also result in a weaker and significantly less consistent distinction between the inset settlement and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

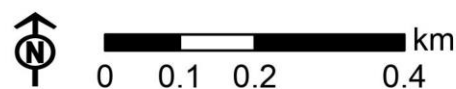
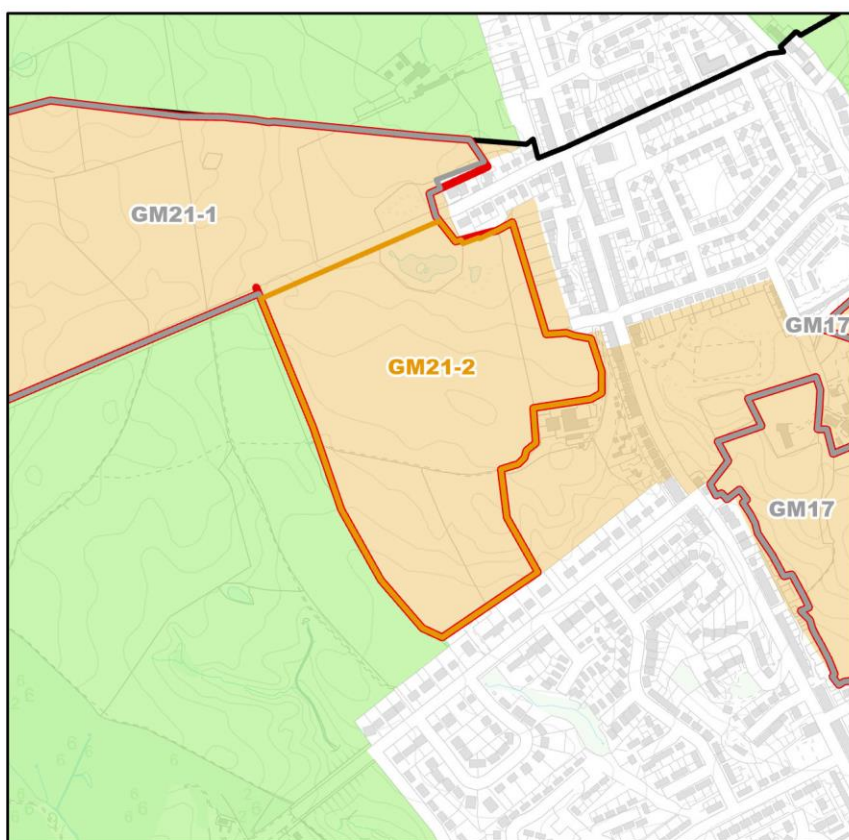
High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and would have moderate impact on preventing the merger of towns. It would constitute a moderate weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as high.

GM21-2



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt



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GM21-2

Area Description

Open fields lying between the northern edge of Royton and Thornham Lane, including ponds and part of a small woodland cluster. The fields are open, with no urbanising development to diminish openness, however urbanising development to the east and south creates a degree of urban containment within the sub-area. The slope of the land and the field to the southeast creates some distinction from the adjacent urban edge. There are no significant features to mark the outer boundary with adjacent retained Green Belt land to the west.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Royton is part of the large built-up area of Greater Manchester so development expanding this area would constitute sprawl. Despite some sense of containment, the sub-area's openness and sense of distinction from the urban edge contributes to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would remove the gap between a town (Royton) and a smaller settlement (Buersil Head), resulting in the latter forming part of the town. The neighbouring towns of Royton and Rochdale would consequently become connected by inset development. However, Royton and Buersil Head are already connected by washed over residential development along Rochdale Road and the significant separating feature of the M62 motorway and Green Belt land to the northeast and northwest of the sub-area would remain.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Although the sub-area is partially contained by urban development, including washed-over housing along the A671 Rochdale Road, the sub-area is free of urbanising uses and retains a relatively strong relationship with adjacent open land.

GM21-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Limited

Releasing this land would detract from the wider setting of the historic settlement of Royton but would not diminish the components important to its historic character.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM21-2

Impact on adjacent Green Belt

Rating: Minor

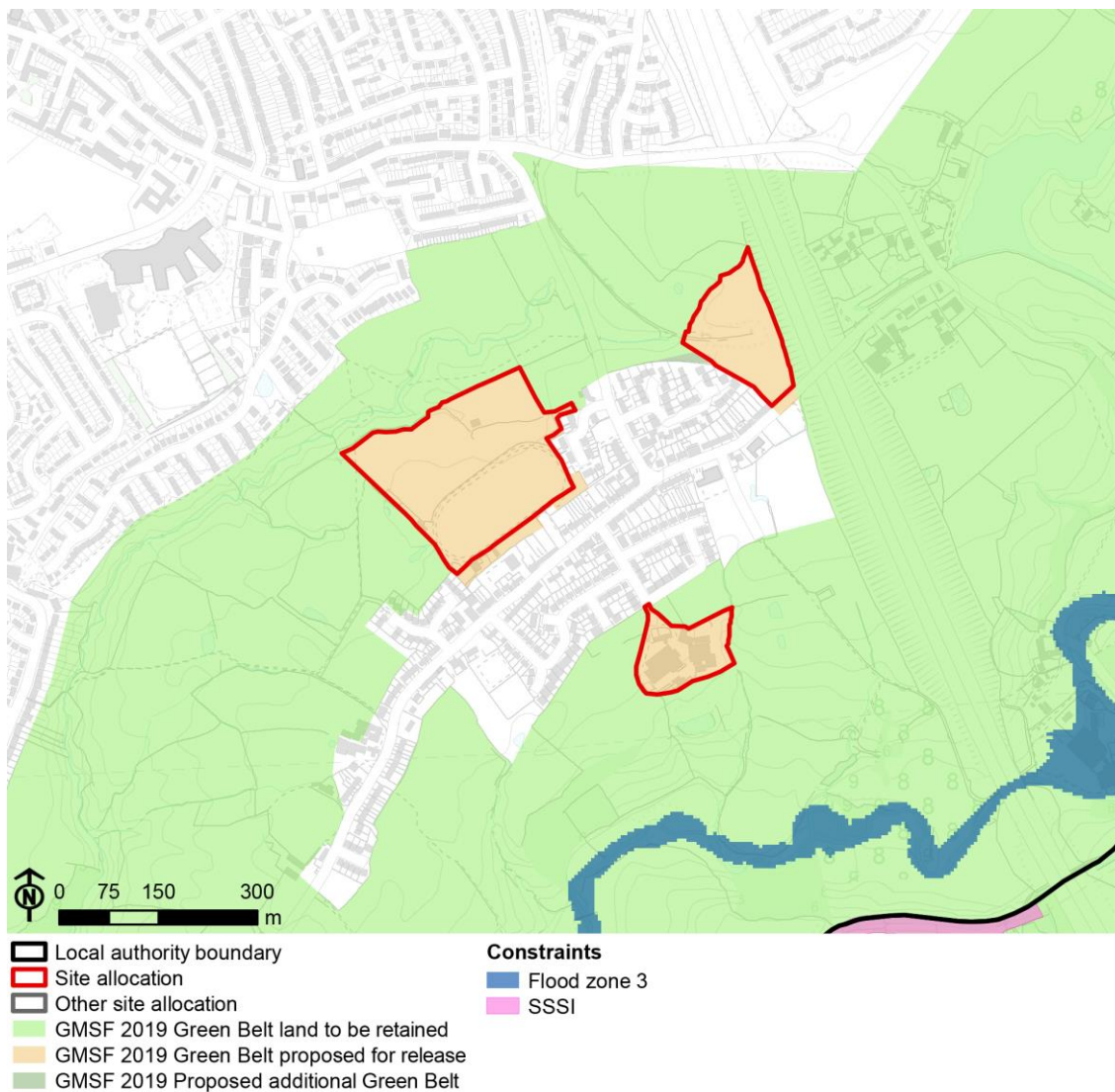
Release of the sub-area, as part of the release of the Allocation as a whole, would contribute to the increased containment of retained Green Belt land to the north, beyond GM21-1, which plays a stronger role in relation to Green Belt purposes. It would result in no significant change in the strength of distinction between the inset settlement and retained Green Belt land, which would continue to be defined by relatively weak boundary features.

Overall harm to Green Belt purposes from release of land

Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, a moderate impact on preventing the merger of towns, and a relatively limited impact on protecting the setting of historic settlements. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

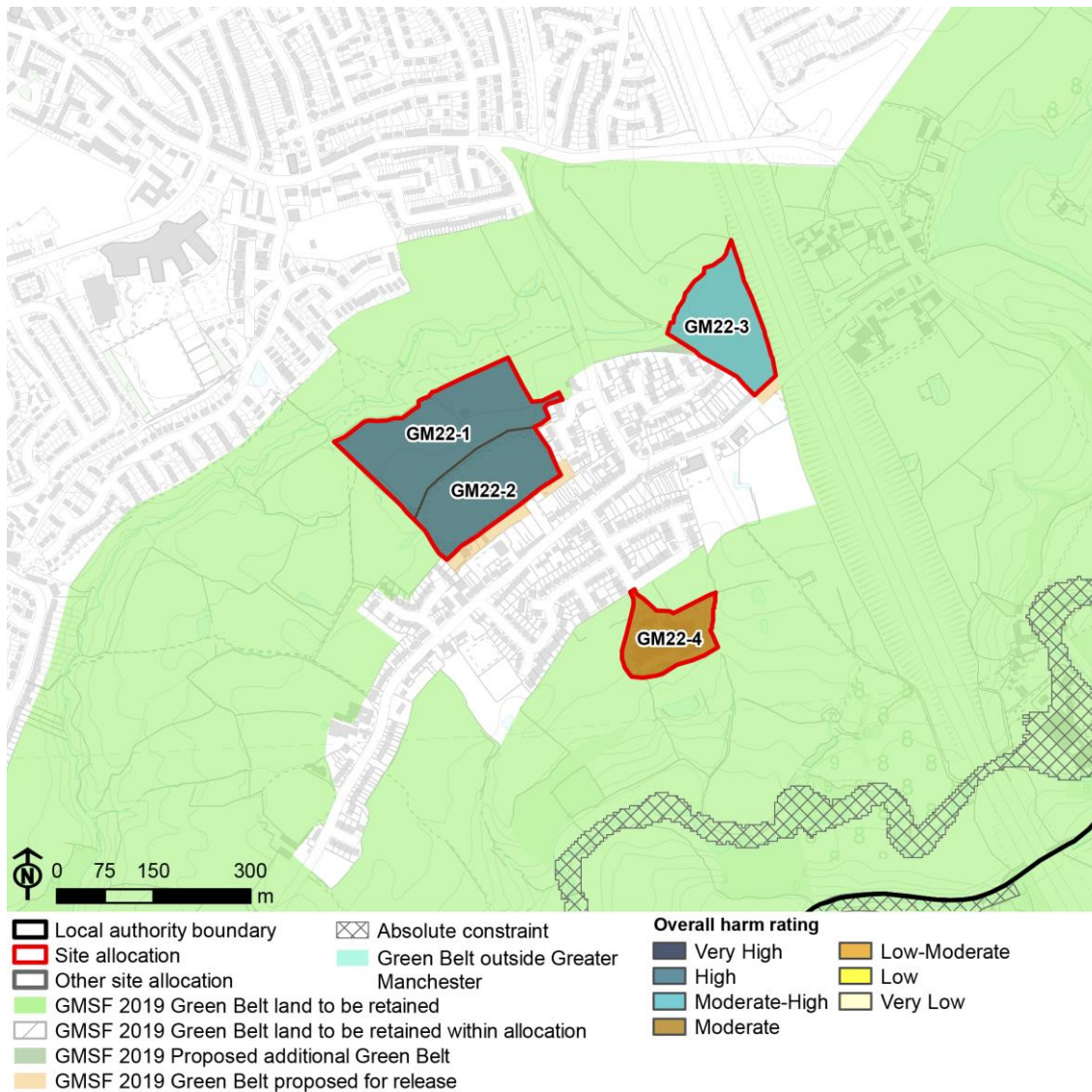
GM22 - Woodhouses



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Three distinct areas of land surrounding the settlement of Woodhouses, within the Metropolitan Borough of Oldham.

GM22



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GM22

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| High | 5.7 |
| Moderate-High | 2 |
| Moderate | 1.3 |
| Total Allocation area | 9 |

GM22 is comprised of three distinct parcels of land and is split into four sub-areas to reflect variations in harm to the Green Belt purposes.

Land within the Allocation predominantly comprises of open grassland, as well as a cluster of agricultural buildings in the southern parcel. The land lacks distinction from the urban edge, which also creates a degree of urbanising containment within the two northern parcels, so land makes a relatively limited to moderate contribution to checking the sprawl of Greater Manchester, and a moderate to relatively significant contribution to protecting the countryside from encroachment. The northern parcels of land make a relatively significant contribution to maintaining the separation of Woodhouses and Failsworth & Hollinwood, and the northwestern parcel makes a significant contribution to preserving the setting of the historic settlement of Woodhouses.

Release of the northern parcels would increase the containment and weaken the connectivity of adjacent land, leaving only a narrow strip of retained Green Belt land between Woodhouses and Failsworth & Hollinwood. Release of the Allocation would result in high harm to Green Belt purposes.

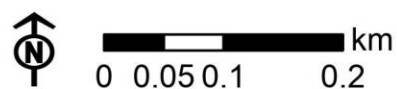
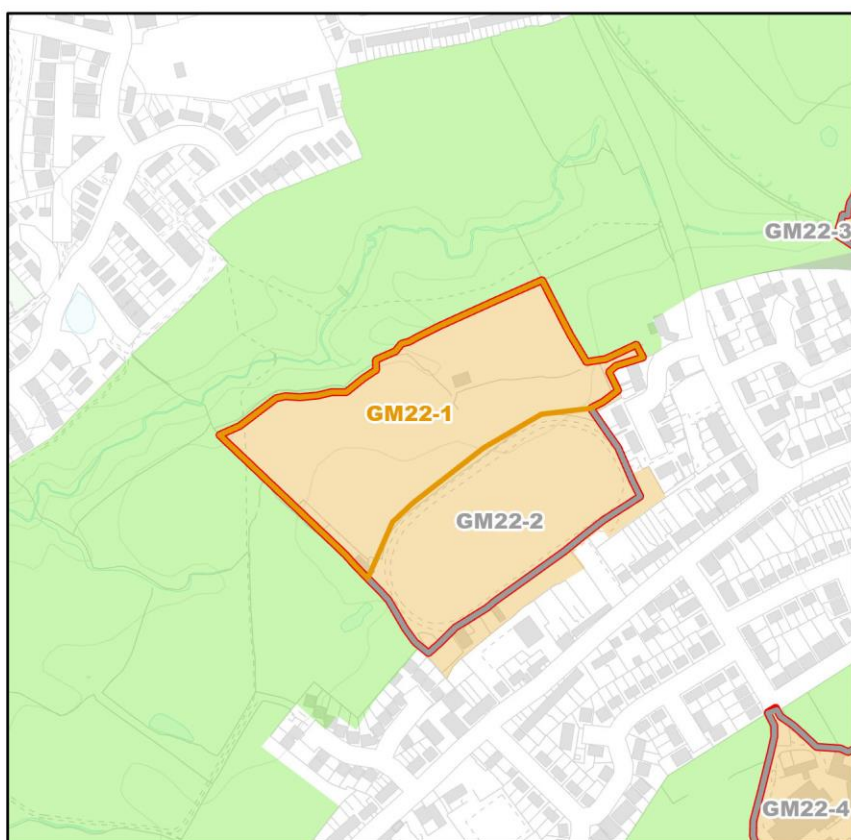
Potential to mitigate harm

Strengthening the boundary of the Allocation with surrounding retained Green Belt land could potentially increase the future distinction between inset land and retained Green Belt land, limiting the weakening of the Green Belt boundary as a result of release of the Allocation. This could also help to limit the weakening of land between Woodhouses and Failsworth & Hollinwood.

GM22-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt



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GM22-1

Area Description

Open amenity grassland and scattered trees on the northern edge of the inset settlement of Woodhouses, forming the majority of the gap with Failsworth to the north. The sub-area contains no urbanising development to diminish openness but the surrounding urban edge to the east and south, as well as further urbanising uses in Failsworth, create a degree of urbanising containment. A track provides limited distinction between this sub-area and the adjoining sub-area to the south. The boundary with adjacent retained Green Belt land to the north is defined by the small Lord's Brook and to the west by field boundaries.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Woodhouses is not part of the large built-up area of Greater Manchester, but close enough to have a relationship with it. This land is open, and releasing it would weaken its separation from the large built-up area at Failsworth, however the lack of strong distinction on the urban edge limits to an extent its role in preventing sprawl into the gap north of Woodhouses.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would reduce the critical gap between the towns of Woodhouses and Failsworth & Hollinwood, which are distinct but close (circa 300 metres in some places) and have some intervisibility given the slight slope of the land down to Lord's Brook.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

The release would encroach on land which is perceived as countryside, however the degree of containment by surrounding urban edges and the lack of distinction with urbanising uses compromise this openness to some degree, weakening the sub-areas relationship with the wider countryside.

GM22-1

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Significant

This land lies in the direct visual setting of the Woodhouses Conservation Area, and so is considered to make a significant contribution to the settlement's historic setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM22-1

Impact on adjacent Green Belt

Rating: Minor

Given the narrow nature of the gap northwards to Failsworth & Hollinwood, releasing this sub-area, as part of the release of the Allocation as a whole, would increase the containment and weaken the connectivity of adjacent land, leaving only a narrow strip of retained Green Belt land between the settlements. The release would not significantly weaken the inset settlement boundary, as Lord's Brook and associated tree cover would form a clear boundary.






Overall harm to Green Belt purposes from release of land

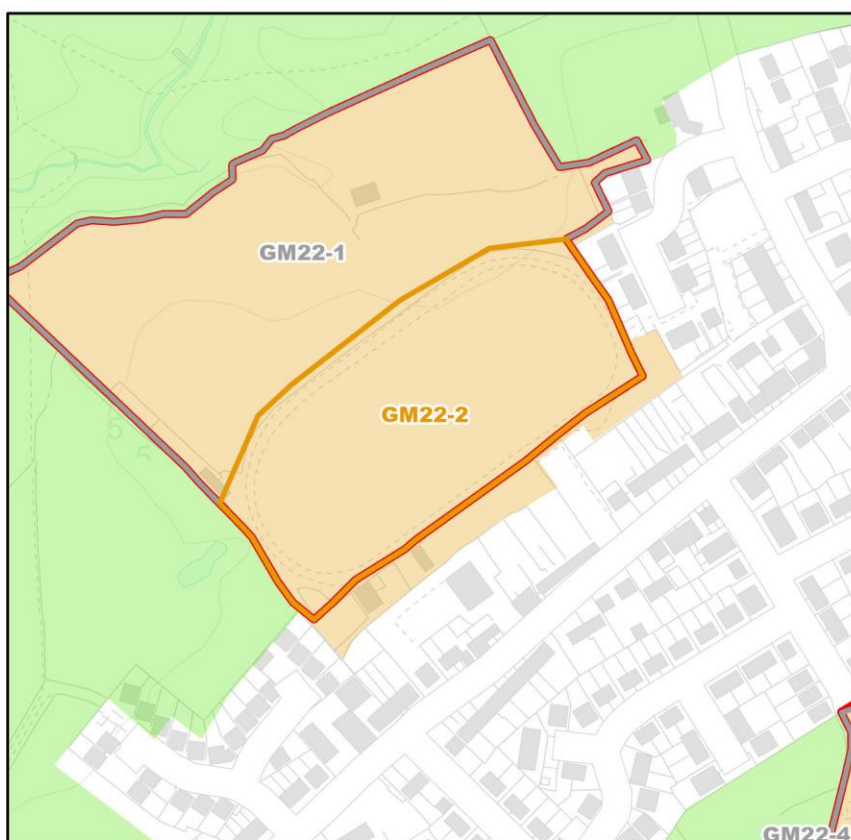
High

Release of the sub-area, as part of the release of the Allocation as a whole, would have a significant impact on preserving the setting of a historic settlement, would constitute relatively significant encroachment on the countryside, a relatively significant impact on preventing the merger of towns, and moderate sprawl. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as high.

GM22-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt



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GM22-2

Area Description

Open amenity grassland adjacent to the northern edge of the inset settlement of Woodhouses, forming the part of the gap with Failsworth to the north. The sub-area contains no urbanising development to diminish openness but is partially contained by the surrounding urban edge to the east and south, as well as further urbanising uses in Failsworth. Residential and pub gardens, with minimal tree cover, provide little significant distinction from the urban edge. A track provides limited distinction between this sub-area and the adjoining sub-area to the north. The boundary with adjacent retained Green Belt land to the east is defined by field boundaries.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Woodhouses is not part of the large built-up area of Greater Manchester, but close enough to have a relationship with the latter. This land is open, and releasing it would weaken its separation from the large built-up area at Failsworth, however the lack of strong distinction on the urban edge limits to an extent its role in preventing sprawl into the gap north of the satellite settlement.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

This land is within the gap between the towns of Woodhouses and Failsworth & Hollinwood, which are distinct but close (circa 300 metres in some places) and have some intervisibility given the slight slope of the land down to Lord's Brook. However, release would not extend the settlement of Woodhouses further northwest than its north-westernmost extent, and as would increase the frontage along which the towns share a limited gap.

GM22-2

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

The release would encroach on land which is perceived as countryside, however the degree of containment by surrounding urban edges and the lack of distinction with urbanising uses compromise this openness to some degree, weakening the sub-areas relationship with the wider countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Significant

This land lies in the direct visual setting of the Woodhouses Conservation Area, and so is considered to make a significant contribution to the settlement's historic setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM22-2

Impact on adjacent Green Belt

Rating: Minor

Although the sub-area does not extend beyond the north-westernmost extent of the settlement of Woodhouses, given the narrow nature of the gap northwards to Failsworth & Hollinwood, releasing this sub-area, as part of the release of the Allocation as a whole, would increase the containment of adjacent retained Green Belt land to the north. The outer boundary of the sub-area with the adjoining sub-area GM22-1 to the north is weakly-defined by a track, which creates little distinction from those parts of the Allocation area that adjoin the retained Green Belt to the north, and a field boundary marks the edge of the sub-area with the retained Green Belt land to the west. Therefore, release of this sub-area as part of the release of the Allocation as a whole would contribute to a weakening of the distinction between the Allocation and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

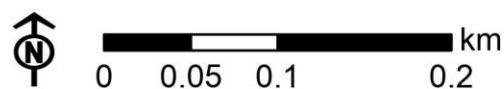
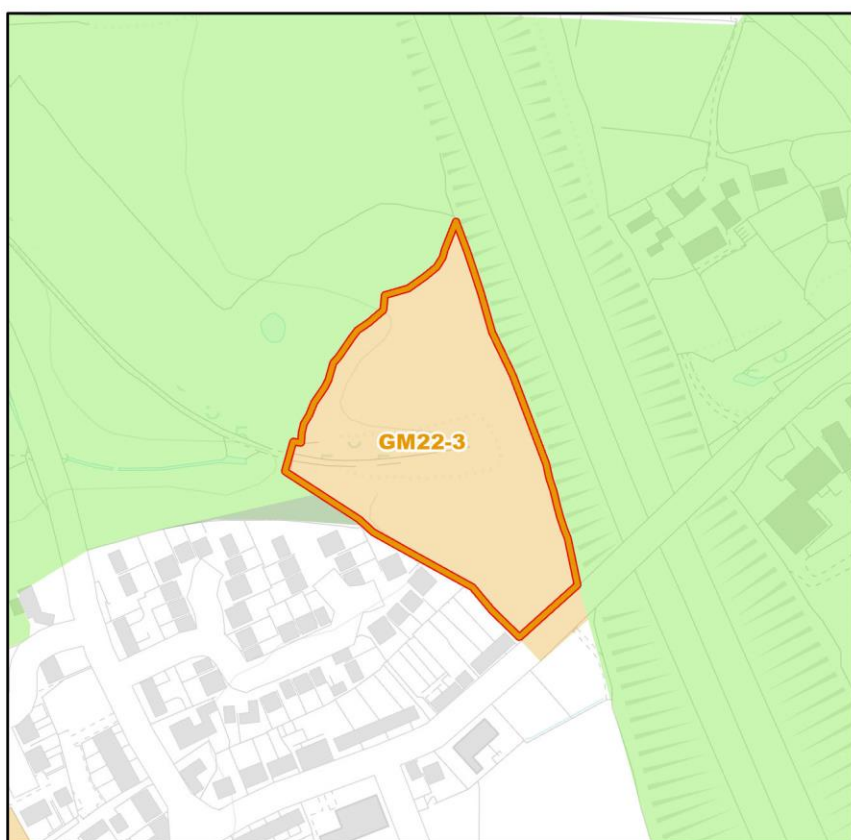
High

Release of the sub-area, as part of the release of the Allocation as a whole, would have a significant impact on preserving the setting of a historic settlement, would constitute relatively significant encroachment on the countryside, a moderate impact on preventing the merger of towns, and moderate sprawl. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as high.

GM22-3



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt



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GM22-3

Area Description

Area of open grassland adjacent to the east of the inset settlement of Woodhouses, sloping down away from the settlement edge. The sub-area lies in the gap between Woodhouses and the M60 motorway corridor. It contains no urbanising development to diminish openness but surrounding urbanising development within both Woodhouses and Failsworth creates a degree of urbanising containment. The M60 motorway to the east, while an appropriate Green Belt use, contributes to a limited sense of containment. Residential garden boundaries provide minimal distinction from the adjacent urban edge, and boundaries with adjacent retained Green Belt land are defined to the east by the M60 and to the north more weakly by field boundaries.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Woodhouses is not part of the large built-up area of Greater Manchester, but is close enough to have a relationship with the latter. The sub-area is open and releasing this land would weaken its separation from the large built-up area at Failsworth, however the lack of significant distinction on the urban edge limits its role in preventing sprawl into the gap north of Woodhouses.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would reduce, but not close, the critical gap between the towns of Woodhouses and Failsworth & Hollinwood which are distinct but close (circa 300 metres in certain places) and where there are no significant features to support the sense of separation between the two.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

The release would encroach on land which is free of urbanising uses, however the degree of containment by surrounding urban edges compromises this openness to a limited degree.

GM22-3

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Limited

The land abuts a very small frontage of the Woodhouses Conservation Area, but its limited visual relationship means that it is not considered a key element in its setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM22-3

Impact on adjacent Green Belt

Rating: Minor

Releasing this sub-area, as part of the release of the Allocation as a whole, would increase the containment and weaken the connectivity of the remaining Green belt gap between Failsworth and Hollinwood. The release would result in no significant change in the strength of distinction between the inset

Overall harm to Green Belt purposes from release of land

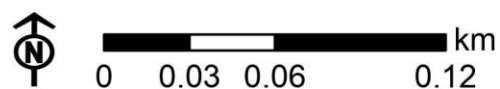
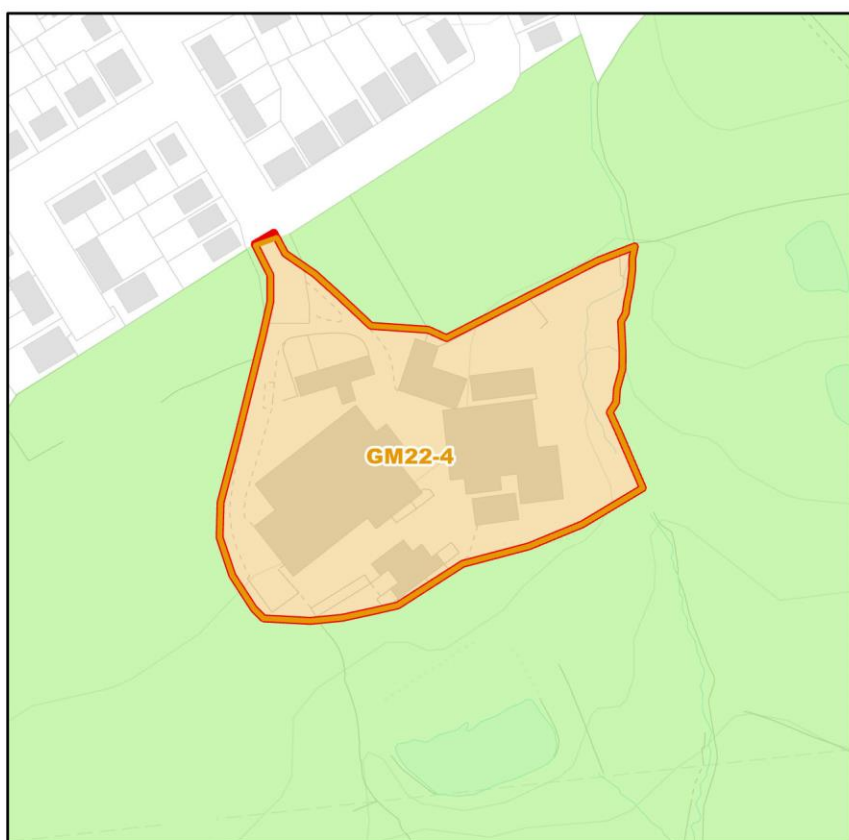
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would have a relatively significant impact on preventing the merger of towns, would constitute moderate sprawl and encroachment on the countryside and would have a relatively limited impact on preserving the setting of a historic settlement. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM22-4



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt



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GM22-4

Area Description

Cluster of agricultural buildings on the southern edge of the settlement of Woodhouses. In Green Belt terms, the sub-area has no significant urbanising development, with existing development largely of an agricultural nature - only a small row of terraced houses in the north constituting a degree of urbanising influence. The sub-area is uncontained by surrounding urbanising development. The connection with the adjacent urban edge of Woodhouses consists of only a very short stretch the width of the access road, and as such provides minimal distinction from urbanising uses within Woodhouses. The boundary with adjacent retained Green Belt land is defined largely by the footprint of the agricultural buildings and benefits from no recognisable boundary features.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

Woodhouses is a not part of the large built-up area of Greater Manchester, but close enough to have a relationship with it. Releasing this land would extend the urban edge of Woodhouses toward the south but would not diminish its separation from the large built-up area, given the relatively large distance southwards to the edge of the large built-up area at Droylsden. The sub-area contains limited urbanising development and is not contained by the settlement edge, however the minimal distinction from the urban edge also limits its role in preventing sprawl southwards from Woodhouses.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

This sub-area does lie in an open gap between the towns of Woodhouses and Droylsden, however the gap is not particularly narrow and the River Medlock Valley and Manchester Ashton-Under-Lyne canal would remain as significant separating features, limiting the role of this piece of land in preserving the gap.

GM22-4

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

The release would encroach on land where the row of terraced housing is associated with the proximity of the urban area, but which is nonetheless open and undeveloped in character. Nevertheless the lack of distinction with urbanising uses to the north compromises the sense of openness.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Limited

This land is an element of the setting of the historic settlement of Woodhouses. Release of land would detract from this but, given the intervening modern houses and the slope of the land, would have a relatively limited effect on the setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM22-4

Impact on adjacent Green Belt

Rating: Minor

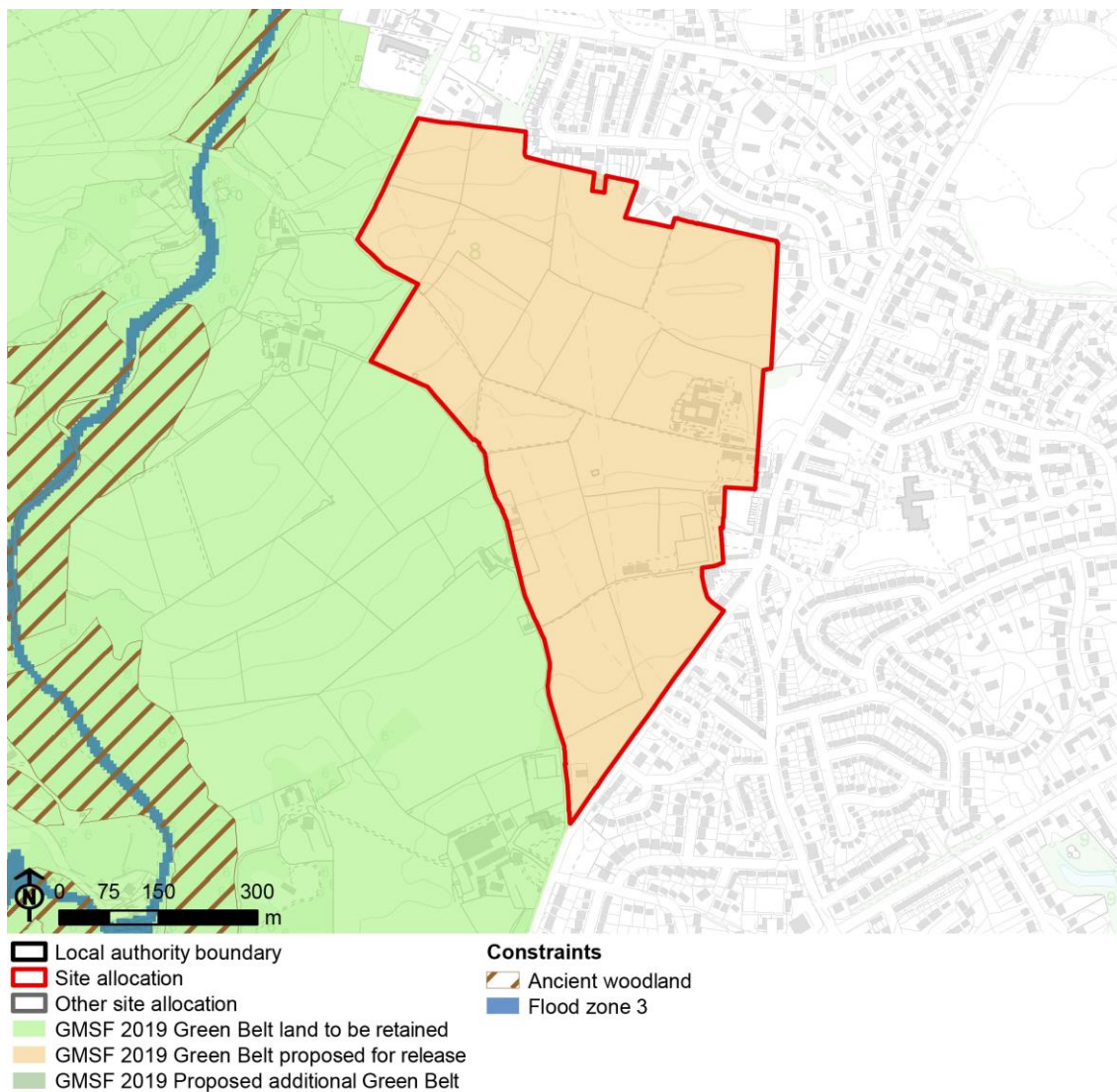
Releasing this sub-area, as part of the release of the Allocation as a whole, would not significantly increase the containment of any retained Green Belt land. It would however result in a significantly more convoluted boundary between the inset settlement and retained Green Belt land, which would lack a sense of distinction, limiting its ability to check sprawl southwards.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate encroachment on the countryside, relatively limited sprawl, a relatively limited impact on preventing the merging of towns and a relatively limited impact on preserving the setting of a historic settlement. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

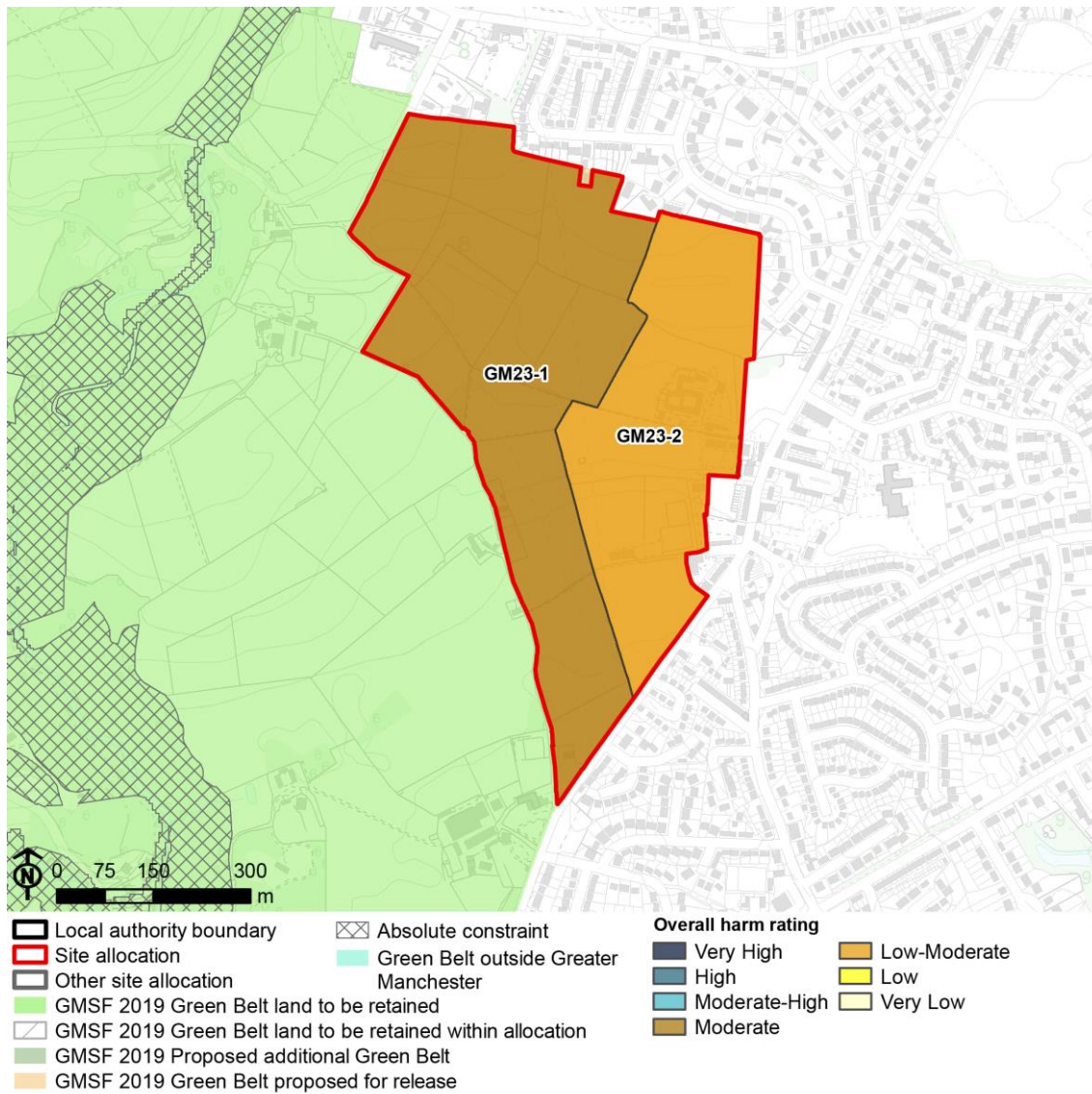
GM23 - Bamford / Norden



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Farmland, playing fields and small housing development on the western edge of Bamford, within the Metropolitan Borough of Rochdale.

GM23



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GM23

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate | 22.5 |
| Low-Moderate | 13 |
| Total Allocation area | 35.6 |

GM23 is split into two sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation comprises of open fields and playing fields. The Allocation lacks distinction from the adjacent urban edges and these create a degree of urbanising containment within the Allocation. As such, land within the Allocation makes a moderate to relatively significant contribution to checking the sprawl of Greater Manchester and preventing encroachment of the countryside.

Release of the Allocation would not increase containment of any retained Green Belt land and would not weaken the Green Belt boundary. It would constitute moderate harm to Green Belt purposes.

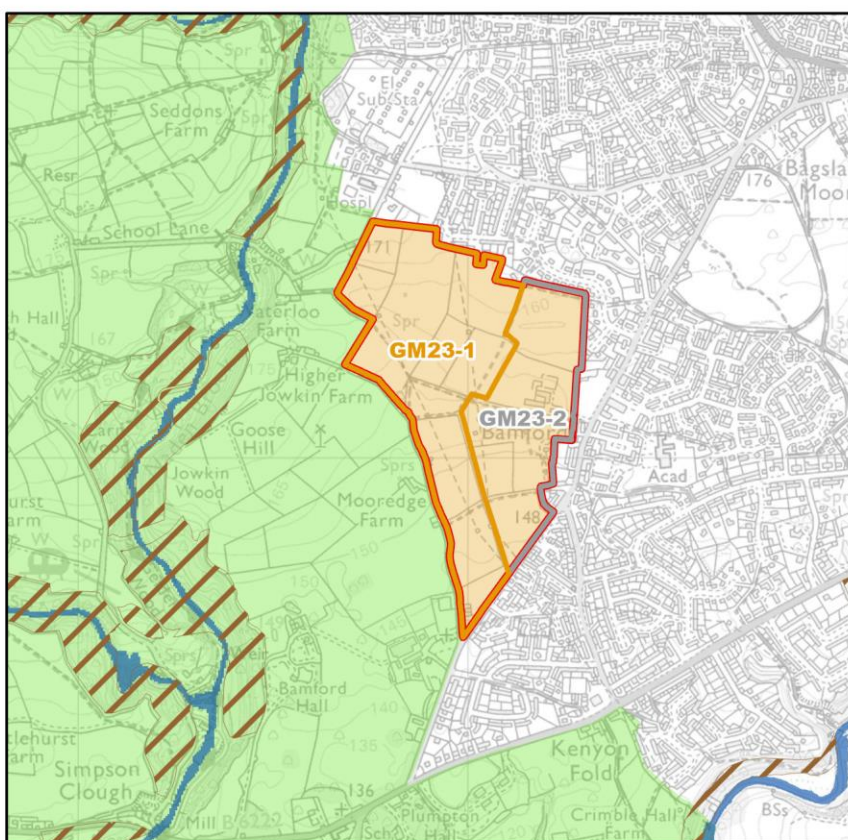
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation. Nevertheless, strengthening the boundary between the Allocation and retained Green Belt land to the west could potentially increase the future distinction between inset land and retained Green Belt land.

GM23-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Ancient woodland
- Flood zone 3



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GM23-1

Area Description

Relatively flat area of open fields to the west of Rochdale, divided by hedgerows and tree lines, along with cottages in the west and an isolated dwelling in the south. Urban development to the north, east and southeast do not create a significant degree of urban containment but residential garden boundaries to the north and fields and gardens to the east do not create any significant distinction from the adjacent urban edge. The outer boundary adjoining retained Green Belt land to the west is defined by minor roads (Jowkin Lane, Lower Jowkin Lane and Furban Road).

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Rochdale is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. Although the sub-area is largely free of urbanising development, the lack of significant distinction from the adjacent urban edge limits to an extent its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The sub-area does lie between the towns of Rochdale and Bury, but is more closely related to the former. Other Green Belt land plays a stronger role in maintaining separation.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this sub-area would encroach on open land which, despite the lack of distinction on the urban edge, is nonetheless generally perceived as countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM23-1

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM23-1

Impact on adjacent Green Belt

Rating: No/Negligible

Release of the sub-area, as part of the release of the Allocation as a whole, would not increase the containment of any retained Green Belt land. In addition, release would result in a relatively consistent boundary between the inset settlement and retained Green Belt land along Jowkin Lane, Lower Jowkin Lane and Furban Road, and would therefore cause no significant change in the strength of distinction between the inset settlement and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

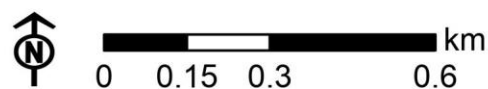
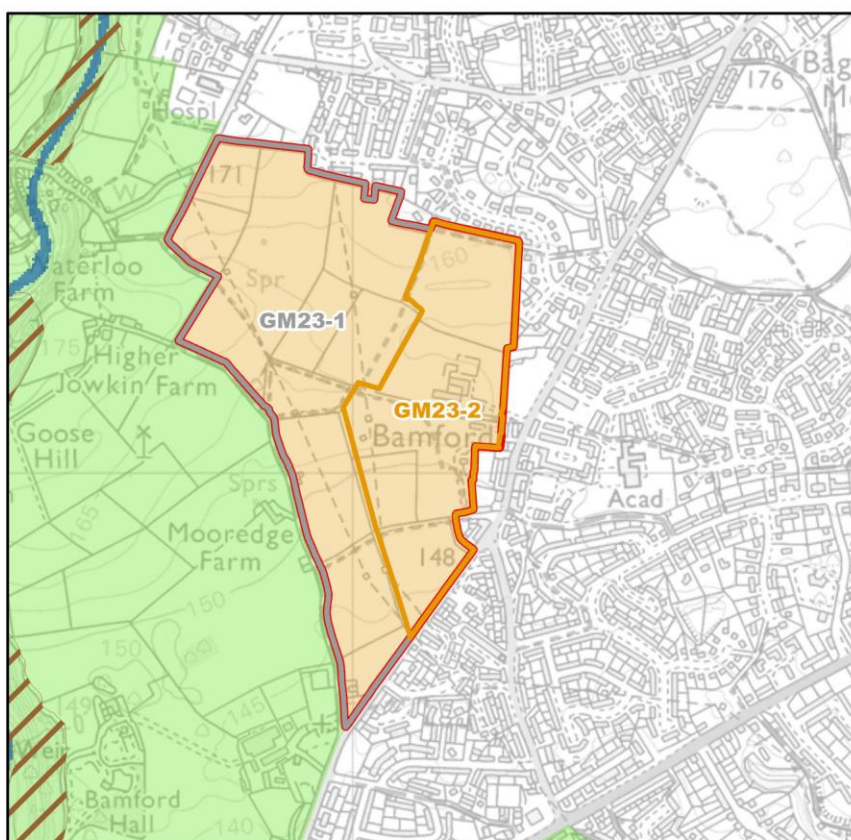
Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

GM23-2



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Ancient woodland
- Flood zone 3



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GM23-2

Area Description

Relatively flat area west of Rochdale, comprising of open fields and playing fields (including Bamford Fieldhouse Cricket Club) divided by hedgerows and tree lines, along with the Bamford Mews housing estate in the east. The sub-area is predominantly open and, with the exception of minor residential development on the edges, contains no urbanising development to diminish openness. The urban development to the north, east and southeast do not create a significant degree of urban containment but residential garden boundaries do not create any significant distinction between the sub-area and the adjacent urban edge. The outer boundary of the sub-area is defined by hedgerows and tree lines, providing some limited distinction from adjacent land within GM23-1 to the west and the retained Green Belt land beyond.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Rochdale is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. Although the sub-area is largely free of urbanising development, the lack of significant distinction from the adjacent urban edge limits to an extent its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The sub-area does lie between the towns of Rochdale and Bury, but due to its containment, it is more closely related to the former. Other Green Belt land plays a stronger role in maintaining separation.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing this sub-area would encroach on land where recreational uses mean it is associated with the proximity of the urban area, but which is nonetheless open and undeveloped in character. However, the lack of distinction on the urban edge limits the strength of the sub-area's relationship with open countryside to the west.

GM23-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM23-2

Impact on adjacent Green Belt

Rating: No/Negligible

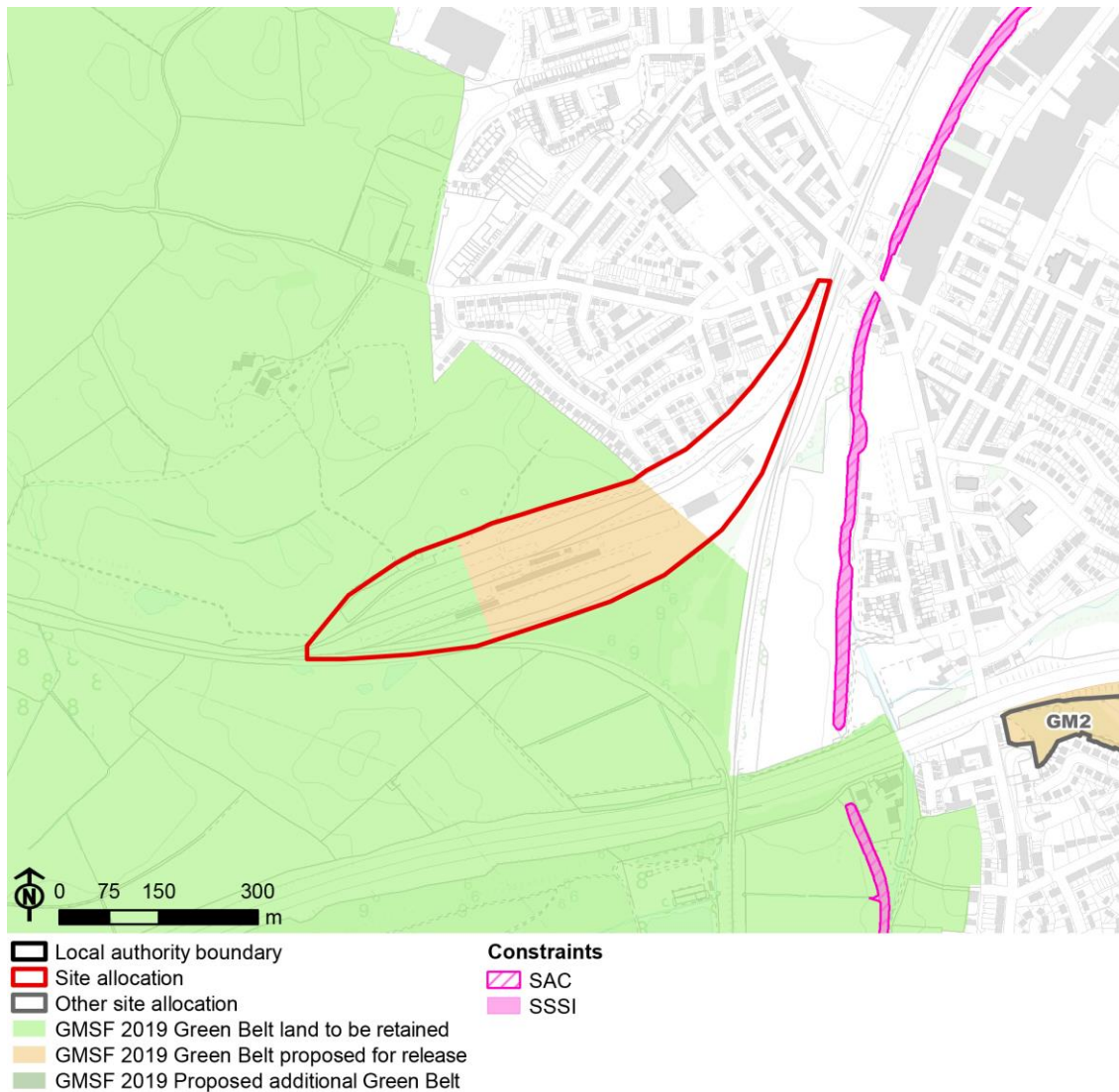
Releasing the sub-area, as part of the release of the Allocation as a whole, would not increase the containment of any retained Green Belt land. In addition, release would have no bearing on the strength of retained Green Belt land to the west, as the release of the Allocation as a whole would not weaken the strength of retained Green Belt land.

Overall harm to Green Belt purposes from release of land

Low-Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as low-moderate.

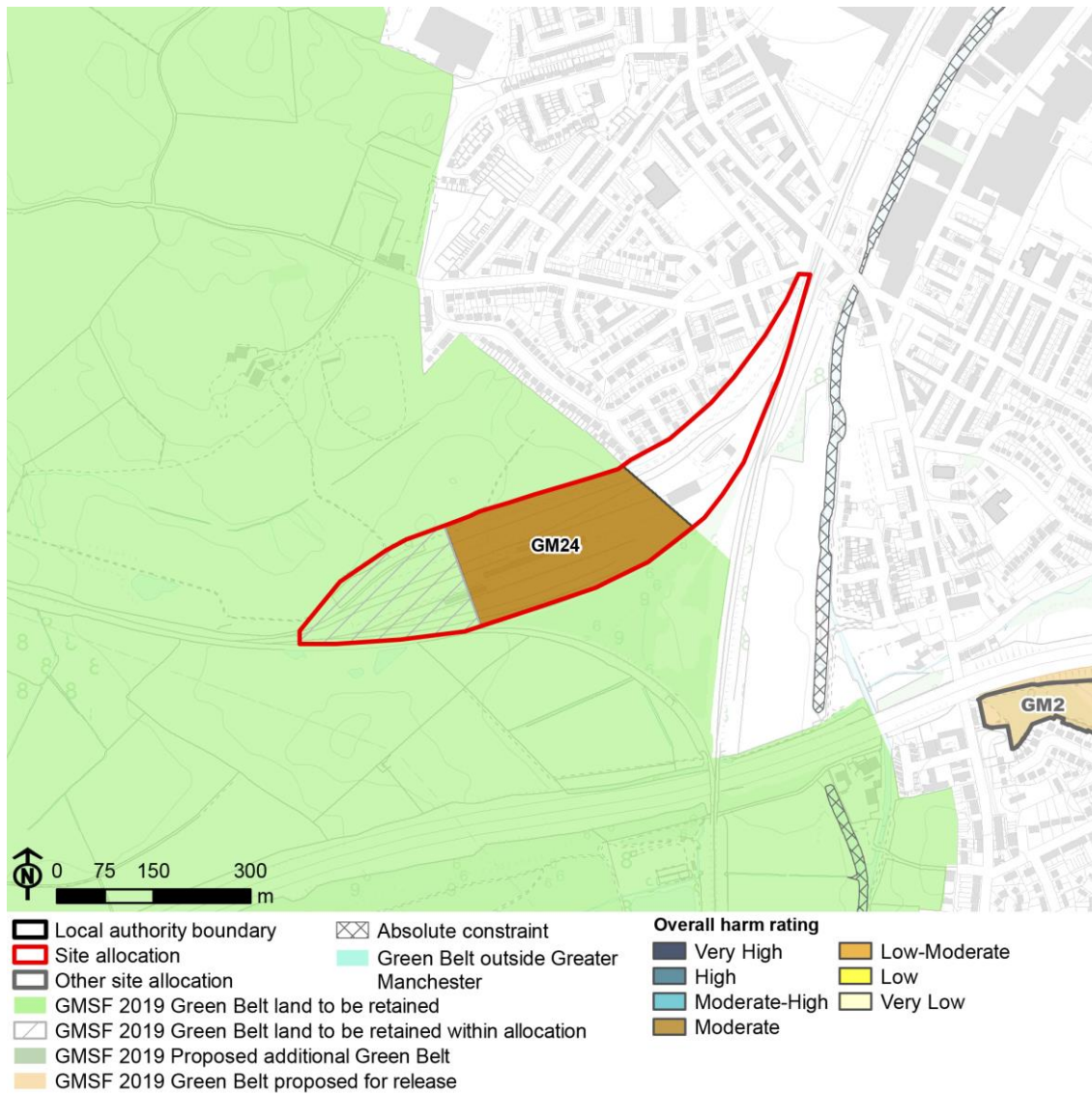
GM24 - Castleton Sidings



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Disused railway yard south west of Castleton, within the Metropolitan Borough of Rochdale.

GM24



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Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate | 5.3 |
| Retained Green Belt | 3.1 |
| Total Allocation area | 11.5 |

The Allocation comprises of a disused railway yard, including railway lines, buildings and hardstanding with some tree lines. The disused infrastructure has an urbanising influence on the Allocation, however it retains sufficient open space for this land to retain a relationship with surrounding countryside. Land within the Allocation retains some distinction from the adjoining urban edge, which does not create a significant degree of urbanising containment within the Allocation. As such, the Allocation makes a moderate contribution to checking the sprawl of Greater Manchester and preventing the merging of Castleton and Heywood, and a relatively limited contribution to preventing encroachment on the countryside.

Release of the Allocation would increase the containment by inset development of retained Green Belt land to the north, and would result in there being no clearly defined Green Belt boundary between the land proposed to be retained within the west of the Allocation and the land proposed to be released in the east of the Allocation. This would weaken the strength of this land proposed to be retained. Release of the Allocation would therefore constitute moderate harm to Green Belt purposes.

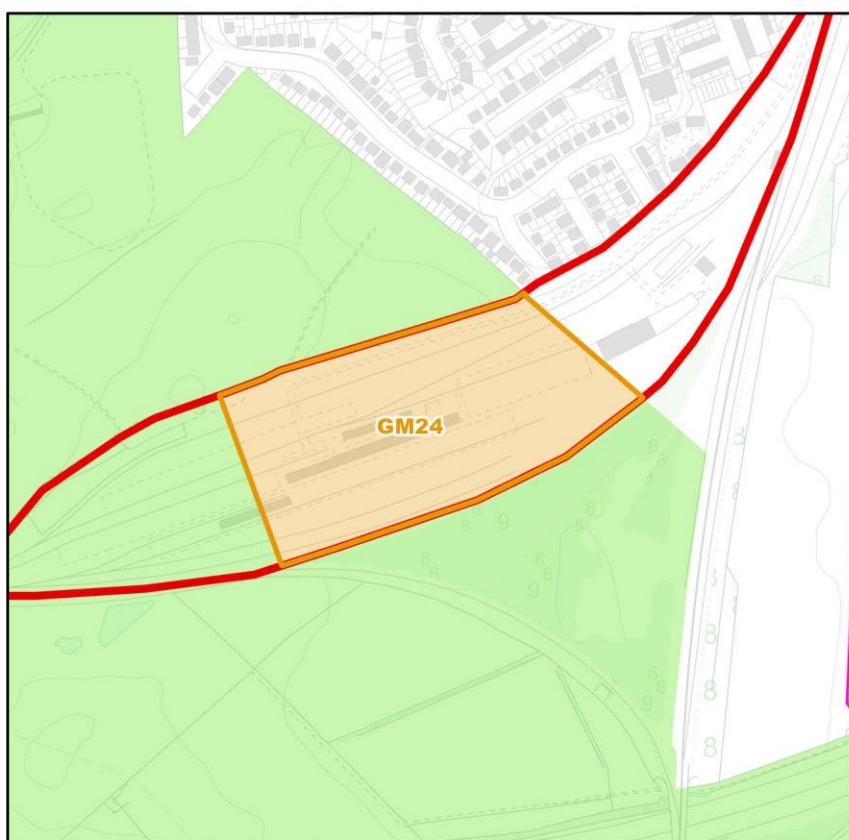
Potential to mitigate harm

Strengthening the boundary of land proposed to be released within the Allocation and land proposed to be retained within the Allocation could potentially increase the future distinction between inset land and retained Green Belt land, limiting the weakening of this retained Green Belt land.

GM24



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  SAC
-  SSSI



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Area Description

Disused railway yard, including railway lines, buildings and hardstanding with some tree lines, adjacent to the southwestern edge of Castleton. The disused infrastructure within the Allocation constitutes an urbanising influence, however there remains sufficient open space for this land to retain a relationship with surrounding countryside. The Allocation is not significantly contained by surrounding urbanising development and shares only a short edge with urbanising uses in Castleton. The surrounding railway lines and tree lines create distinction between the Allocation and the adjacent inset edge, as well as the wider Green Belt. It is proposed to limit development to the eastern half of the Allocation, and to retain the western half in the Green Belt.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Castleton is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. However, despite some degree of openness and distinction from uses within Castleton, the urbanising influences within the Allocation limit to an extent this land's role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would not reduce the gap between the towns of Castleton and Heywood, but would increase the extent of development at the narrowest point between the two towns (less than 800m), which have no significant separating features lying between them. However, the urbanising development within the Allocation limits to a degree the role of this land in preventing the merger of towns.

GM24

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

The urbanising influences within this Allocation limit its perception as open countryside, however its lack of containment and some open space within the Allocation mean it retains some relation with adjacent open land, compared to with urbanising uses in Castleton.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

Impact on adjacent Green Belt

Rating: Minor

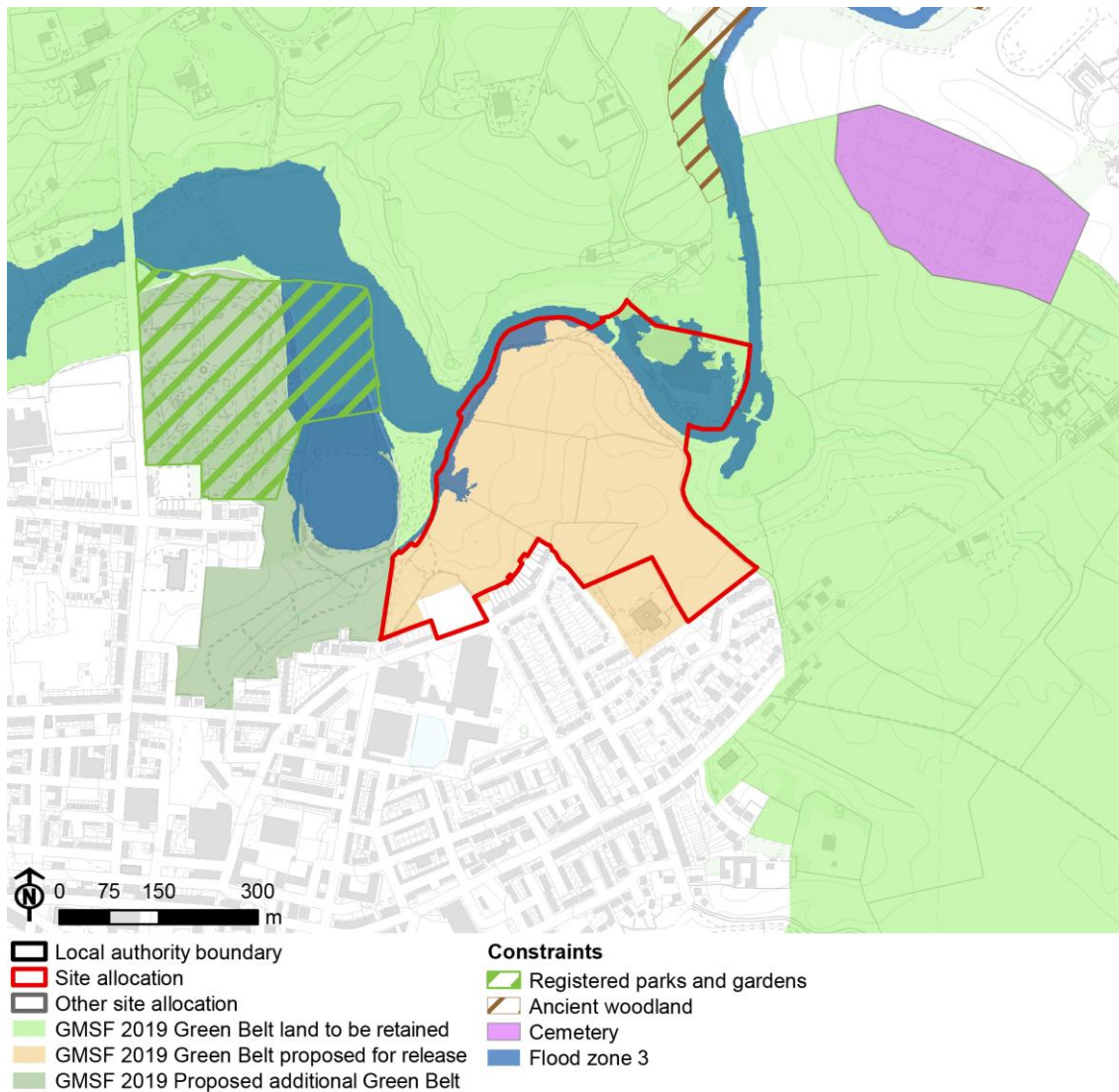
Releasing this land would increase the containment by inset development of retained Green Belt land to the north, between the Allocation and Castleton Moor. Release would result in there being no clearly defined boundary feature between the land proposed to be retained within the west of the Allocation and the land proposed to be released in the east of the Allocation.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the Allocation would constitute moderate sprawl, a moderate impact on preventing the merger of towns, and relatively limited encroachment on the countryside. It would constitute a minor impact on retained Green Belt land. Harm from the release of the Allocation is therefore assessed as moderate.

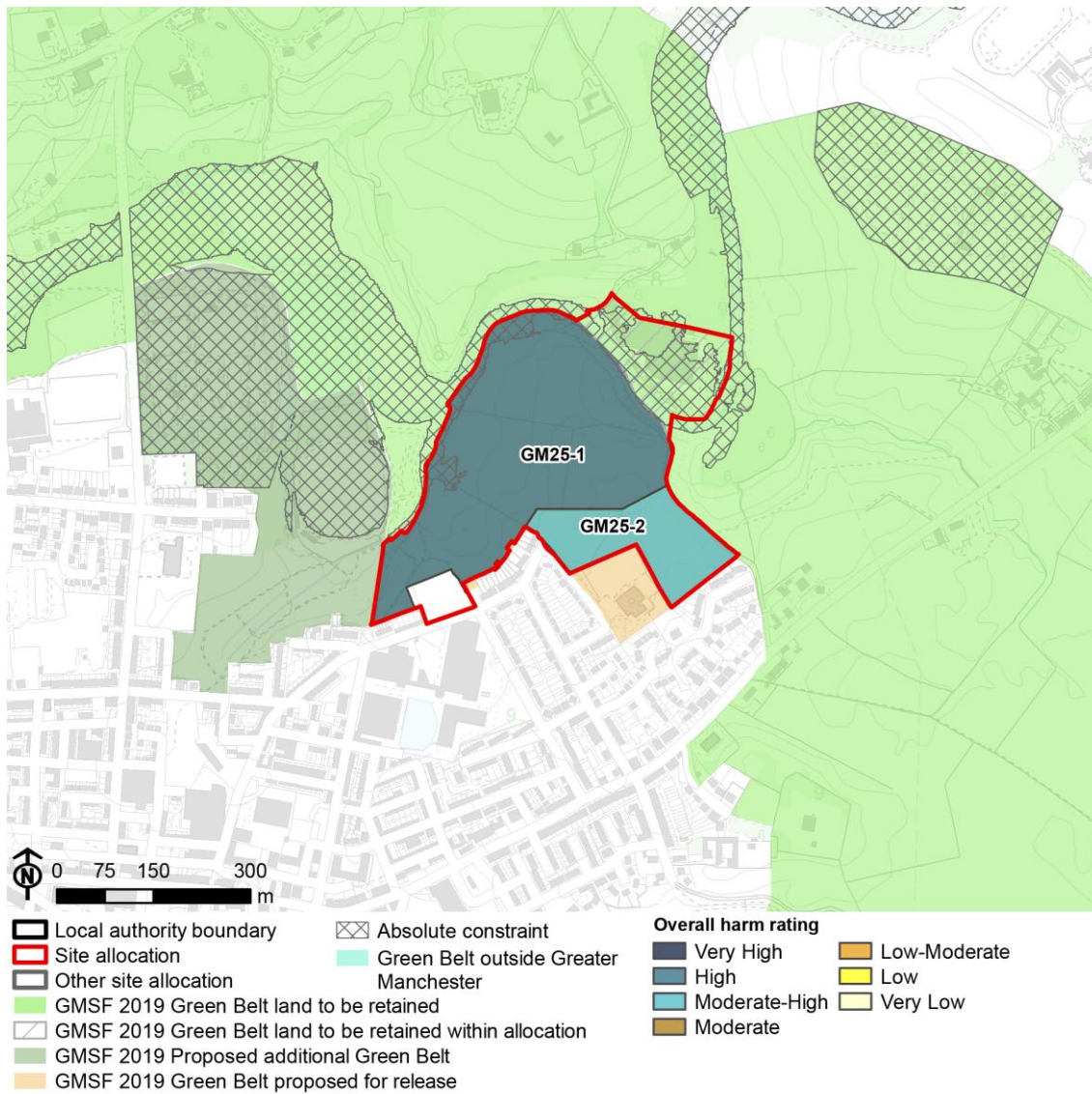
GM25 - Crimble Mill



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Farmland and woodland blocks lying between Heywood and the River Roch, within the Metropolitan Borough of Rochdale.

GM25



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GM25

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| High | 10.9 |
| Moderate-High | 2.8 |
| Retained Green Belt | 2.6 |
| Total Allocation area | 16.8 |

GM25 is split into two sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation comprises of open fields and woodland clusters, as well as the developed buildings and hardstanding of Crimble Mill. The majority of the Allocation is uncontained by urbanising development and retains distinction from the urban edge, whilst land in the southeast of the Allocation lacks distinction from and retains a degree of urbanising containment by the adjacent urban edge. As such, land within the majority of the Allocation makes a significant contribution to checking the sprawl of Greater Manchester and preventing encroachment of the countryside, as well as a relatively significant contribution to Heywood and Rochdale, with the more contained and less distinct land in the southeast making a lesser contribution.

Release of the Allocation would not weaken the Green Belt boundary, but would increase the containment of adjacent retained and proposed additional Green Belt land to the north and east, and would reduce the gap between Heywood and Rochdale. Release of the Allocation would constitute high harm to Green Belt purposes.

In addition, it is noted that the Crimble Mill site, located in the northeast of the sub-area, is largely developed but is proposed to be retained within the Green Belt. Any development of this site that further reduced its openness could therefore potentially add to the harm of release of the sub-area.

GM25

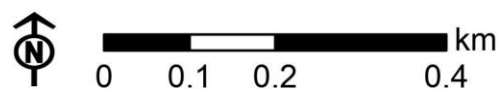
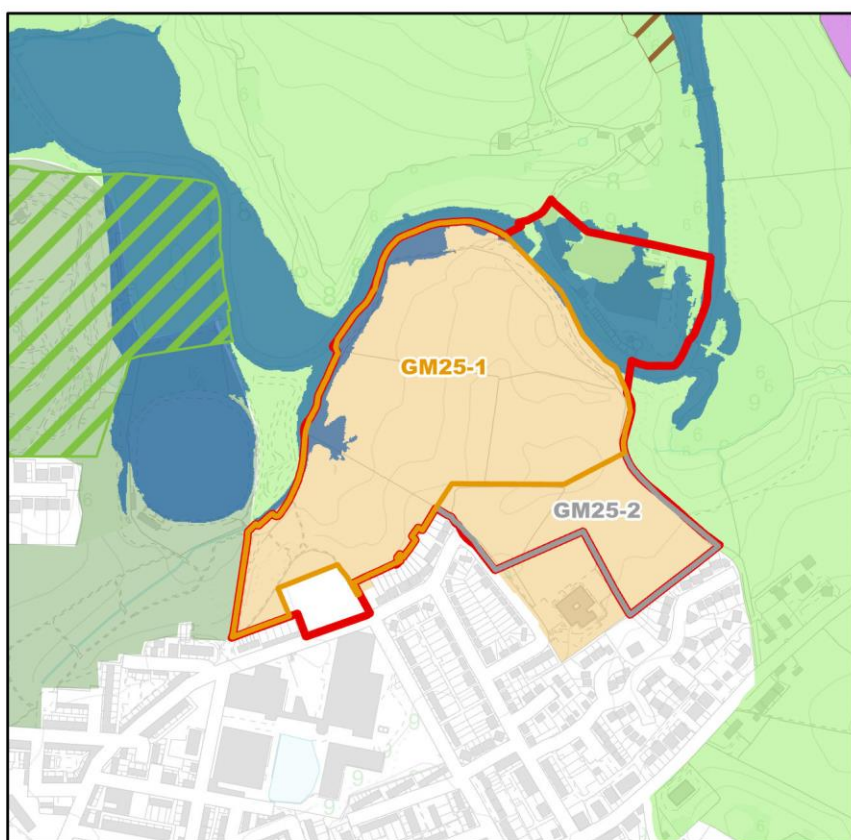
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, which would increase the containment of land between Heywood and Rochdale. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM25-1



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Ancient woodland
-  Registered parks and gardens
-  Cemetery
-  Flood zone 3



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GM25-1

Area Description

Open fields divided by hedgerows, tree lines and woodland clusters, sloping down away from the northern edge of Heywood towards the River Roch further north, and including the developed buildings and hardstanding of Crimble Mill on the opposite bank of the river. With the exception of the land uses at Crimble Mill, the sub-area contains no urbanising development to diminish openness. The land is not significantly contained by urbanising development, despite urban edges to the north and south, and tree cover on the urban edge to the south provides some sense of distinction from the sub-area. The outer boundary with adjacent retained Green Belt land to the north is defined by the tree-lined Millers Brook and River Roch, as well as woodland beyond, with a stretch of minor road (Crimble Lane) providing the boundary to the east. The land at Crimble Mill to the north of the river is proposed to be retained within the Green Belt.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Heywood is part of the large built-up area of Greater Manchester so development expanding this area would constitute sprawl. The limited urbanising development within the sub-area, the openness lent by the sloping landform, and the partial distinction on the urban edge, contributes to this land's role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would reduce the gap between the towns of Heywood and Rochdale, which are distinct but very close (c.700m).

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

Releasing this sub-area would encroach on predominantly open land which, particularly due to its sloping character, has a strong relationship with surrounding open countryside.

GM25-1

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM25-1

Impact on adjacent Green Belt

Rating: Minor

Releasing this sub-area, as part of the release of the Allocation as a whole, would increase the containment of adjacent retained and proposed additional Green Belt land to the north and east. However, the release would also result in a relatively distinct and strong alternative boundary between the settlement edge and retained Green Belt land, defined largely by the River Roch, along with significant tree cover.

Overall harm to Green Belt purposes from release of land

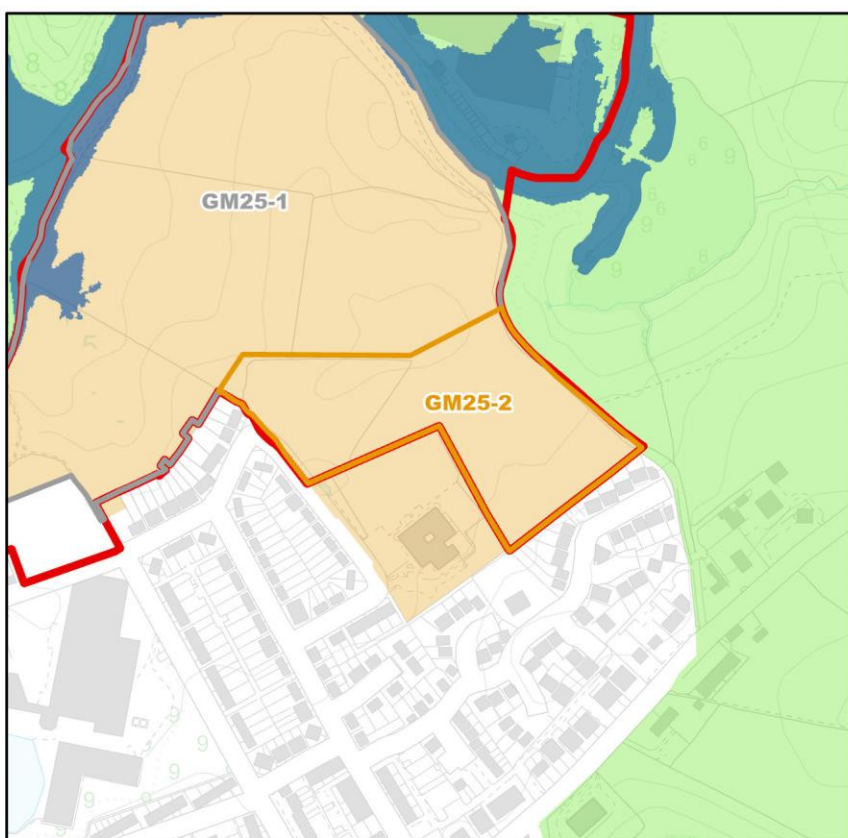
High

Release of this sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, and a relatively significant impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as high. In addition, it is noted that the Crimble Mill site, located in the northeast of the sub-area, is largely developed but is proposed to be retained within the Green Belt. Any development of this site that further reduced its openness could therefore potentially add to the harm of release of the sub-area.

GM25-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM25-2

Area Description

Open fields on more elevated land adjoining the northern edge of Heywood. The land is free of urbanising development, however the adjoining urban edge creates a degree of urbanising containment, and the school and residential garden boundaries create only limited distinction from the settlement edge. Hedgerow marks part of the edge with the adjacent sub-area to the north, and a minor road (Crimble Lane) provides some distinction from retained Green Belt land to the east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Heywood is part of the large built-up area of Greater Manchester so development expanding this area would constitute sprawl. However, the lack of distinction from and degree of containment by the urban edge limits the role of the sub-area in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would reduce the gap between the towns of Heywood and Rochdale, which are distinct but very close (c.700m). However, the lack of distinction from and degree of containment by the urban edge limits the role of the sub-area in maintaining the separation between the towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Release would encroach on open land that is generally perceived as countryside. However, the lack of distinction from and degree of containment by the urban edge limits the role of the sub-area in preventing encroachment on the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM25-2

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM25-2

Impact on adjacent Green Belt

Rating: No/Negligible

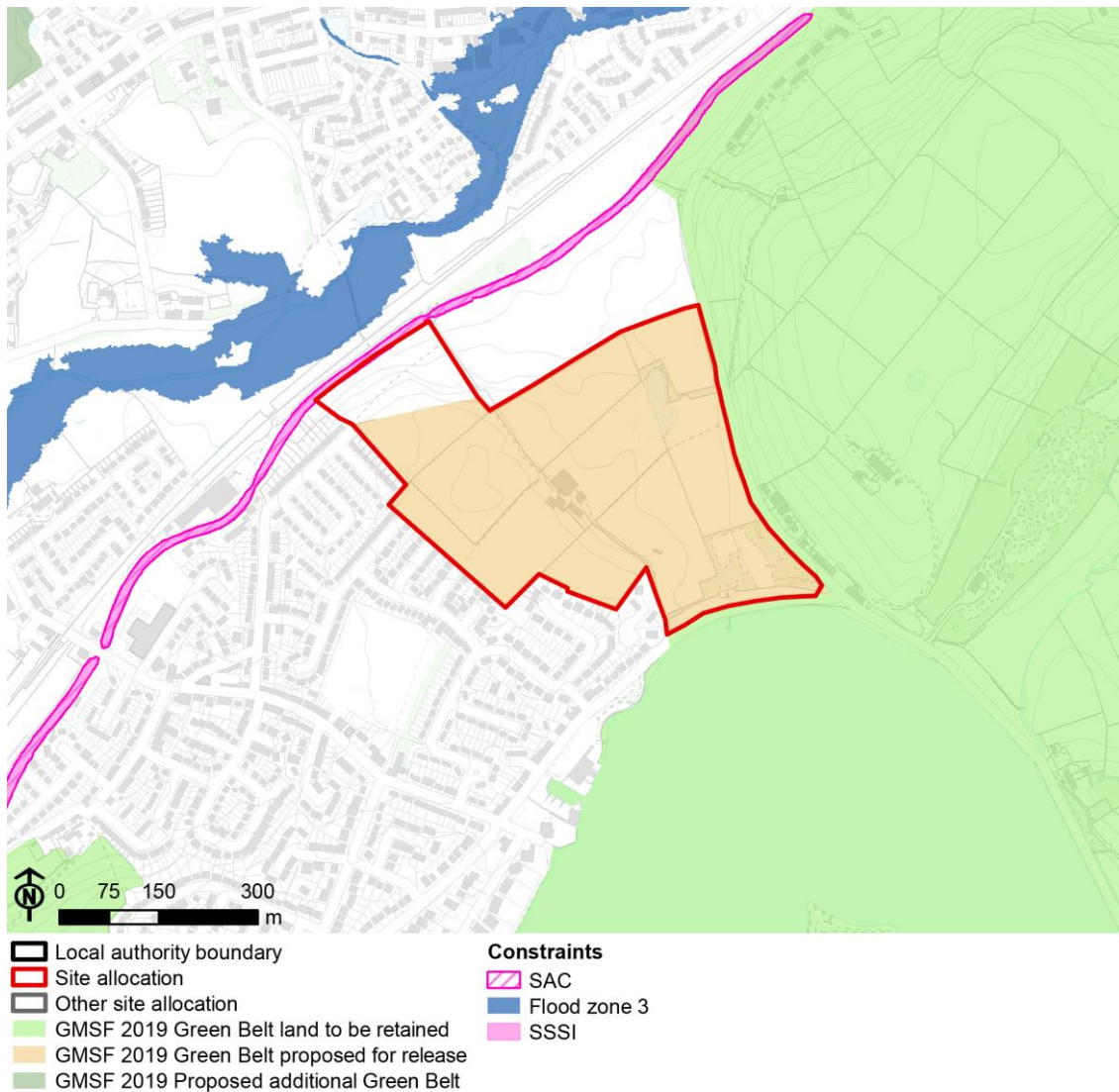
Release of the sub-area, as part of the release of the Allocation as a whole, would not result in the increased containment of any retained Green Belt land, and would result in a stronger alternative Green Belt boundary, defined by Crimble Lane to the east.

Overall harm to Green Belt purposes from release of land

Moderate-High

Release of this sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as moderate-high.

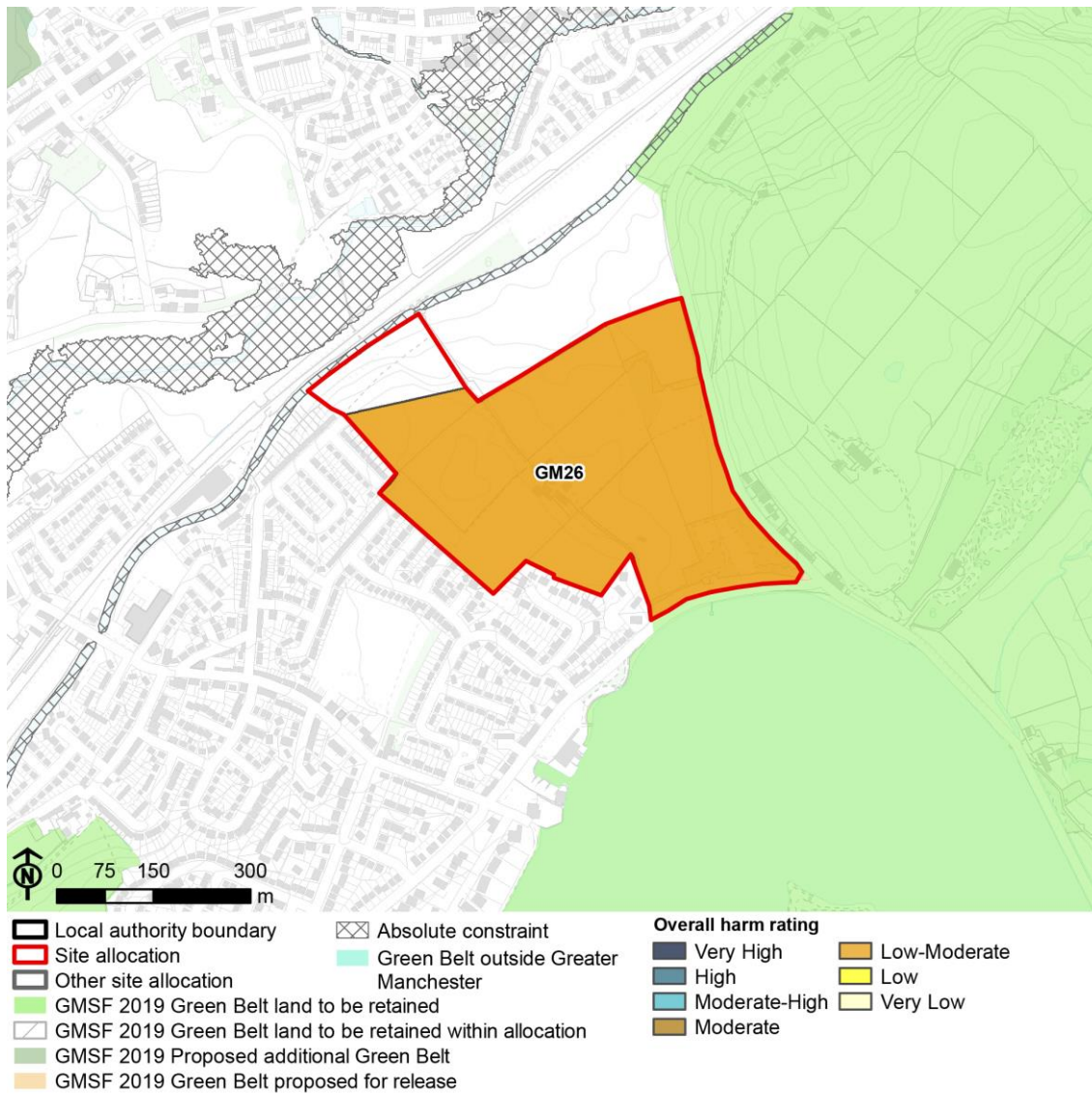
GM26 - Land North of Smithy Bridge



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Farmland north of Smithy Bridge and Hollingworth Lake, within the Metropolitan Borough of Rochdale.

GM26



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GM26

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Low-Moderate | 18.4 |
| Total Allocation area | 20.4 |

The Allocation comprises of open agricultural land at Brown Brow Hill. The adjoining inset edges create a significant degree of urbanising containment within the Allocation, but the crest of Brown Brow Hill in the west creates some distinction from the inset edges to the north and west. As such, the Allocation makes a moderate contribution to checking the sprawl of Greater Manchester and preventing encroachment of the countryside, as well as a relatively limited contribution to maintaining separation between Smithy Bridge and Littleborough. The Allocation also makes a relatively limited contribution to preserving the settlement of Littleborough.

Release of the Allocation would not increase the containment of retained Green Belt land and would not weaken the strength of the Green Belt boundary. Release of the Allocation would therefore constitute low-moderate harm to Green Belt purposes.

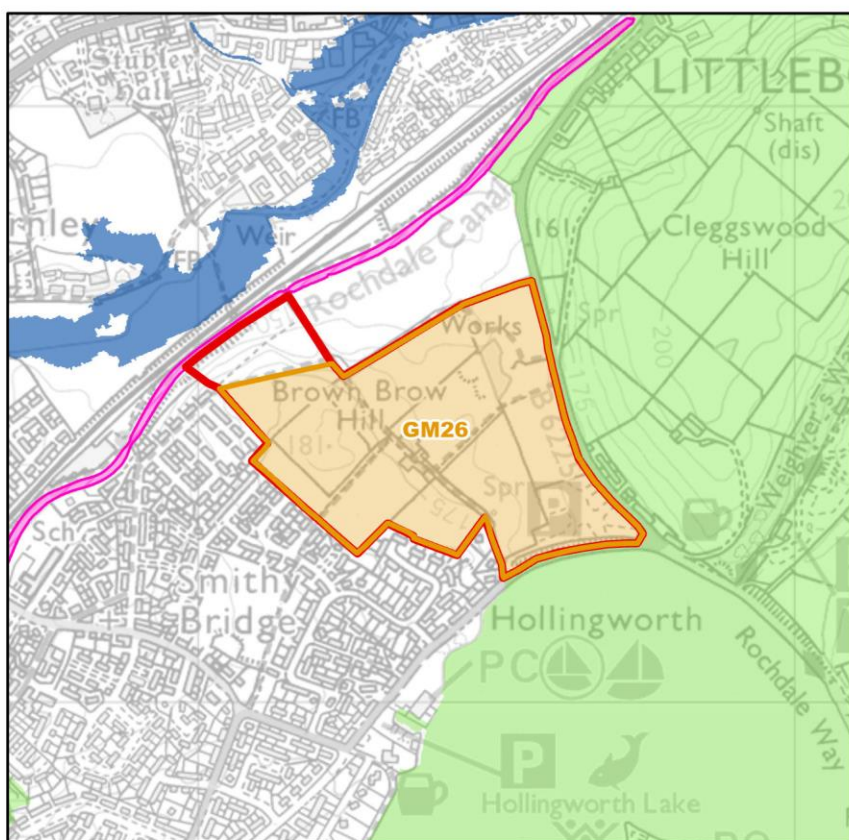
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM26



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- SAC
- Flood zone 3
- SSSI



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Area Description

Open agricultural land at Brown Brow Hill, north of Smithy Bridge, including a farmstead and woodland-enclosed car park. With the exception of the tree-enclosed car park in the southeast of the Allocation, which has a limited impact on openness, the Allocation has no urbanising development to diminish openness. The inset edges to the southwest and west, as well as the undeveloped inset land to the north, creates some sense of containment, however the crest of Brown Brow Hill in the west creates some distinction from the inset edges to the north and west. The outer boundary with adjacent retained Green Belt land is defined by the edge of Hollingworth Lake to the south, and to the east by the B6225 Hollingworth Road and the slopes of Cleggswood Hill beyond.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Smithy Bridge is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. Despite some sense of containment, the Allocation's openness combined with some sense of distinction from the urban edge provided by the Hill Crest mean this land has a moderate role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

Releasing this land would reduce the narrow gap between the towns of Smithy Bridge and Littleborough, but the railway line and Rochdale Canal would remain as significant separating features.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing this Allocation would encroach on land which, due to its openness, sloping landform and some sense of distinction from urbanising uses in Smithy Bridge, is generally perceived as countryside.

GM26

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Limited

Brown Brow Hill forms a key element of the setting of the historic settlement of Littleborough, however its role is limited due to the presence of inset land (currently undeveloped) on the sloping land to the north of this Allocation.

Release of land within the Allocation would nonetheless diminish this element of the setting of Littleborough.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM26

Impact on adjacent Green Belt

Rating: No/negligible

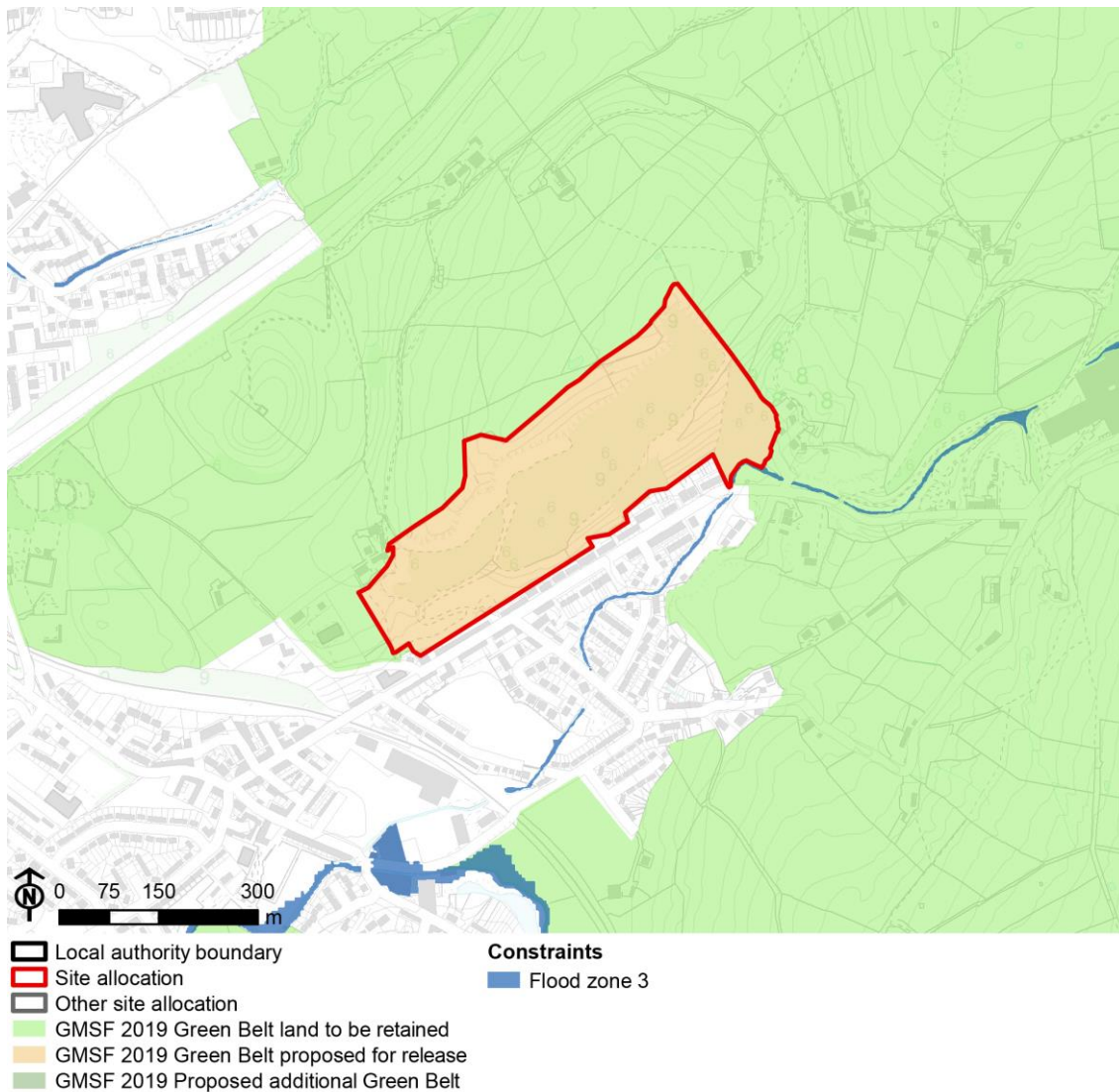
Due to the existing containment of the Allocation, releasing this land would not increase the containment of retained Green Belt land to the south and east. The release would also result in a relatively distinct and consistent boundary between the inset settlement and retained Green Belt land, marked by the B6225 and the adjoining slopes of Cleggswood Hill to the east, and Hollingworth Lake to the south.

Overall harm to Green Belt purposes from release of land

Low-Moderate

Release of the Allocation would constitute moderate sprawl and encroachment on the countryside, a relatively limited impact on preventing the merger of towns and protecting the setting and special character of historic settlements. Release would constitute a negligible weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as low-moderate.

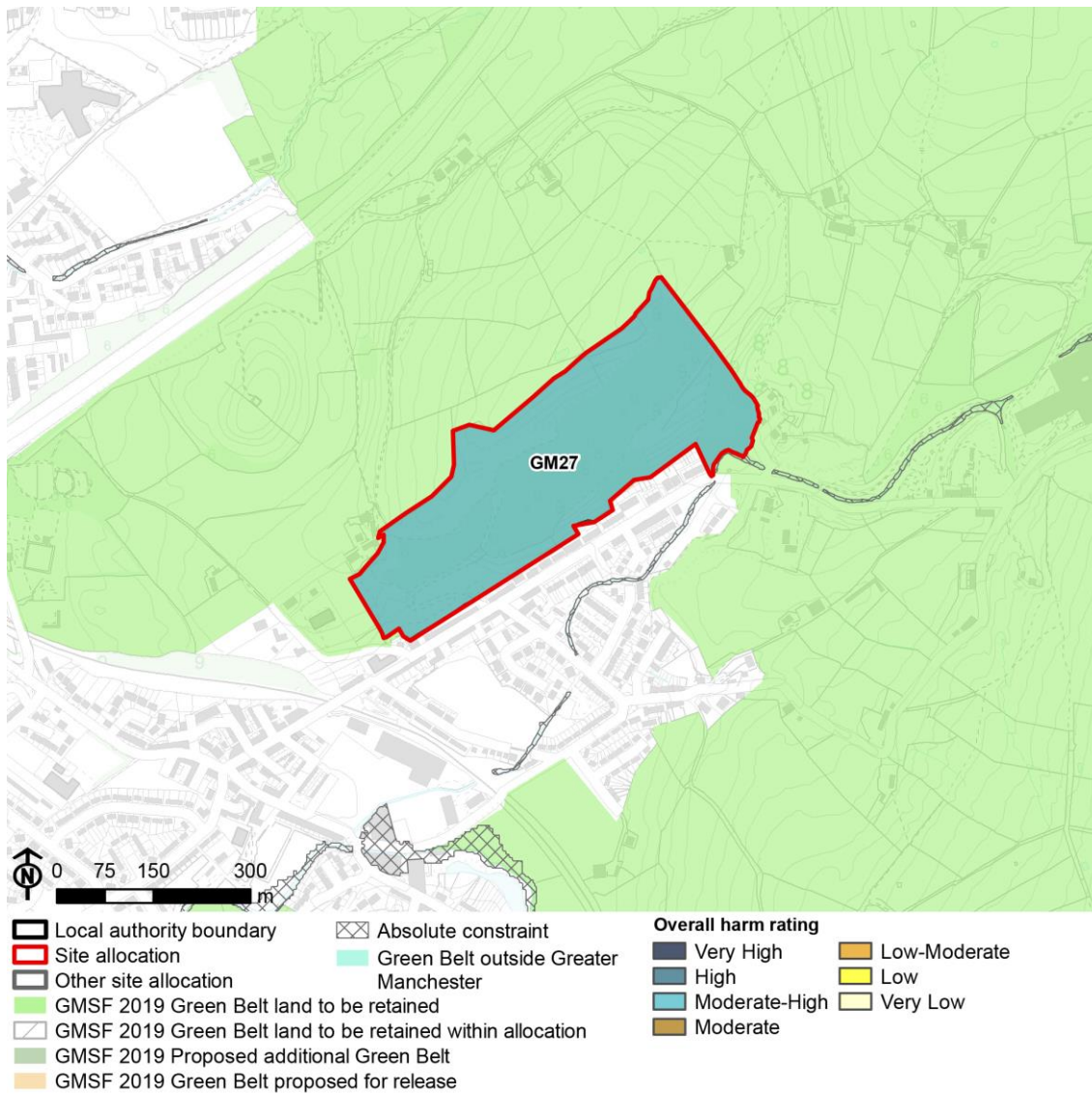
GM27 - Newhey Quarry



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Disused quarry north of Newhey, within the Metropolitan Borough of Rochdale.

GM27



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Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate-High | 13.5 |
| Total Allocation area | 13.6 |

The Allocation comprises of a disused quarry , which contains no urbanising development to diminish openness. Land is not significantly contained by urbanising development and retains distinction from the urban edge. As such, land within the Allocation makes a significant contribution to checking the sprawl of Greater Manchester and preventing encroachment of the countryside. The Allocation also makes a relatively limited contribution to maintaining the separation of Newhey and Milnrow.

Release of the Allocation would increase the containment of retained Green Belt land to the southwest at the churchyard and adjoining grassland, however this land makes a lesser contribution to Green Belt purposes and as such its containment would not increase the harm of release. Release of the Allocation would also not weaken the Green Belt boundary. Release of the Allocation would therefore constitute moderate-high harm to Green Belt purposes.

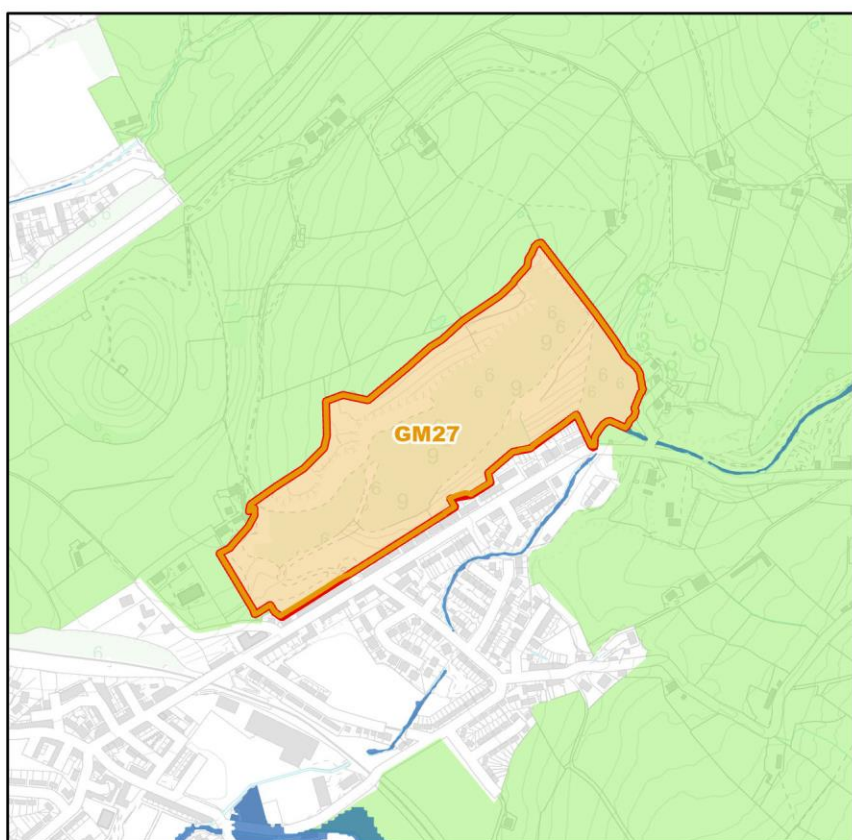
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation. Nevertheless, further strengthening the boundary of the retained Green Belt land to the southwest of the Allocation, such as by further tree planting, could potentially increase the future distinction between inset land and retained Green Belt land and limit the perception of urbanising containment.

GM27



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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Area Description

Disused quarry adjacent to the northern edge of Newhey, to the rear of houses on Huddersfield Road. The Allocation contains no urbanising development to diminish openness and is not significantly contained by urbanising development. The steep wooded slopes on the inset edge of Newhey provide distinction from urbanising uses. The outer boundary with adjacent retained Green Belt land is also relatively strongly defined by the elevated ridge bounding the Allocation, while to the east there is less significant distinction as landform becomes sloping farmland.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Newhey is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The Allocation's openness and distinction from the urban edge contributes to its role in preventing sprawl northwards.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The Allocation does lie between the towns of Newhey and Milnrow, but is more closely related to the former. In addition the Allocation is physically contained from the wider Green Belt to the north by an elevated ridge. Other Green Belt land to the north of the Allocation plays a stronger role in maintaining separation between these towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

The Allocation comprises a disused quarry, a use associated with the proximity of the urban area, however the land remains open in character, uncontained and distinct from urbanising uses within Newhey.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Milnrow is a historic settlement, but the Allocation lacks any significant visual or physical relationship with it.

GM27

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM27

Impact on adjacent Green Belt

Rating: No/negligible

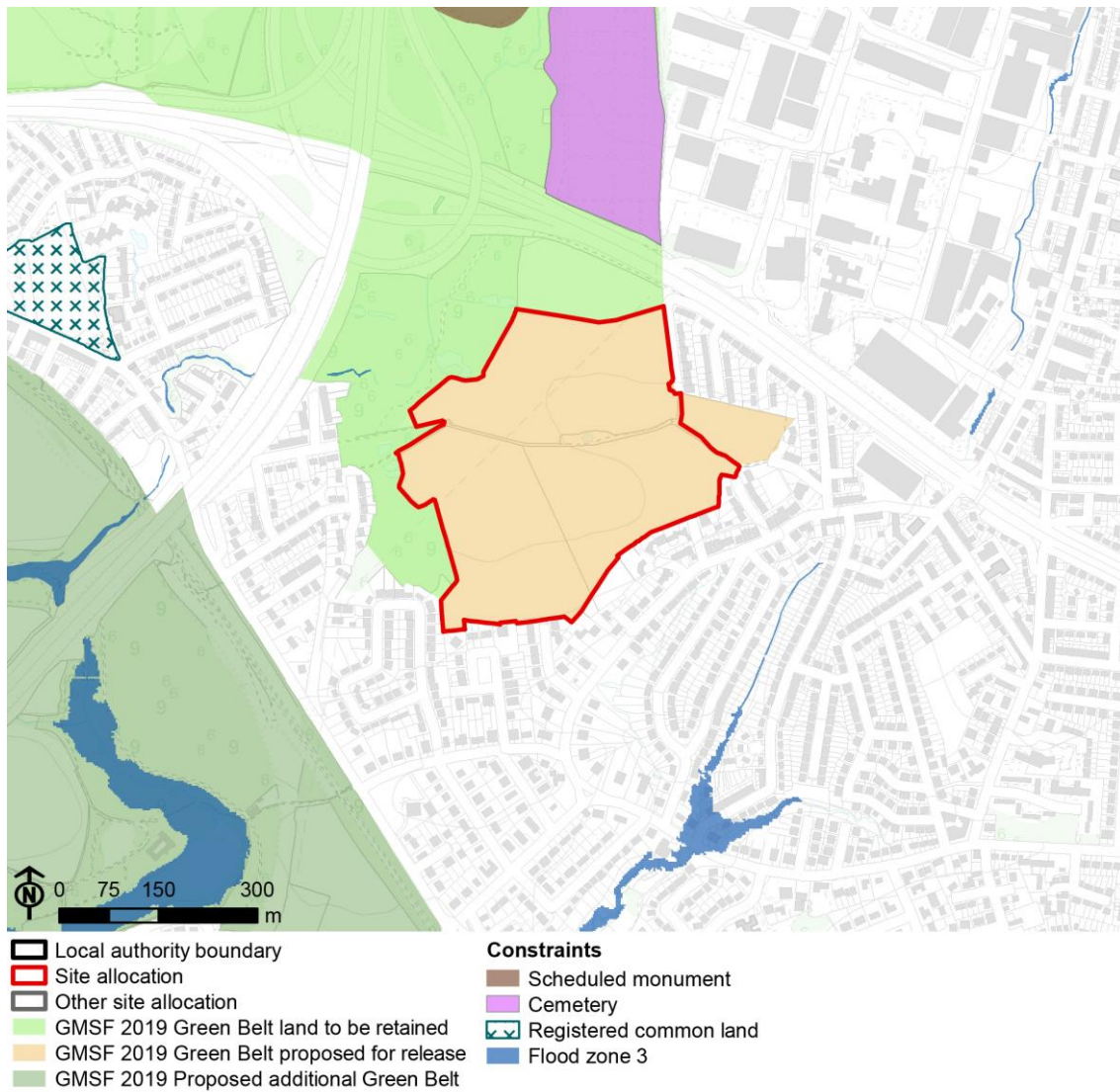
Releasing this land would increase the containment of retained Green Belt land to the southwest at the churchyard and adjoining grassland, however this land makes a lesser contribution to Green Belt purposes and as such its containment does not increase the harm of release. The release would create a moderately strong boundary between the inset settlement and retained Green Belt land, defined by the ridge-crest to the northwest, however elsewhere the resulting boundary in places may be less distinct.

Overall harm to Green Belt purposes from release of land

Moderate-High

Release of the Allocation would constitute significant sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as moderate-high.

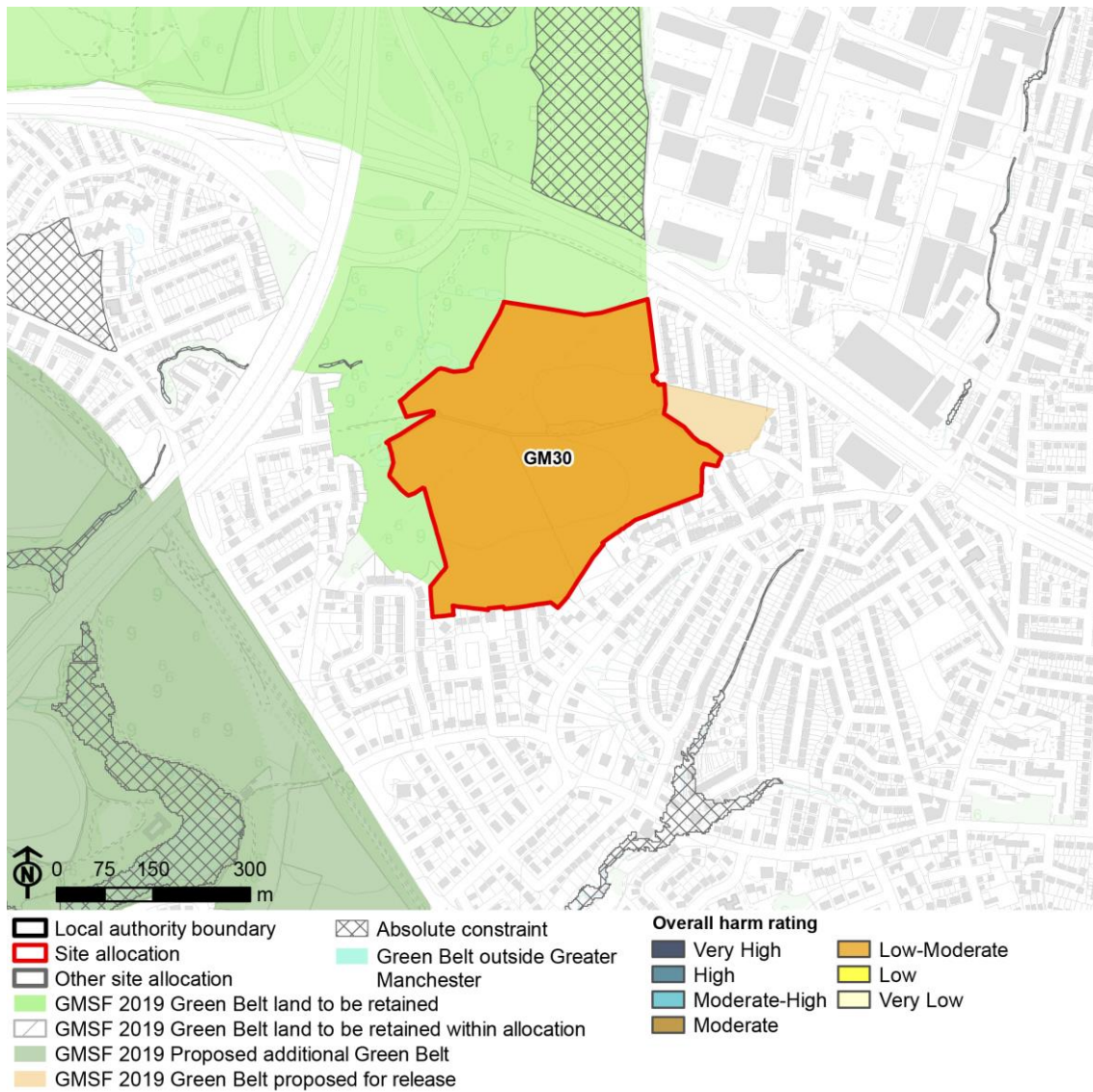
GM30 - Land at Hazelhurst Farm



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Farmland north of Hazelhurst, part of Worsley, within the City of Salford.

GM30



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GM30

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Low-Moderate | 15.7 |
| Total Allocation area | 15.7 |

The Allocation comprises of open farmland. The Allocation lacks distinction from the urban edge, and this in conjunction with the tightly surrounding woodland creates a sense of urbanising containment. As such, the Allocation makes a moderate contribution to checking the sprawl of Greater Manchester and protecting the countryside from encroachment.

Release of the Allocation would not weaken the Green Belt boundary, and although it would increase the containment of the retained Green Belt to the west the wooded nature of this area means that its distinction from the urban area would not be significantly weakened. Release of the Allocation would therefore constitute low-moderate harm to Green Belt purposes.

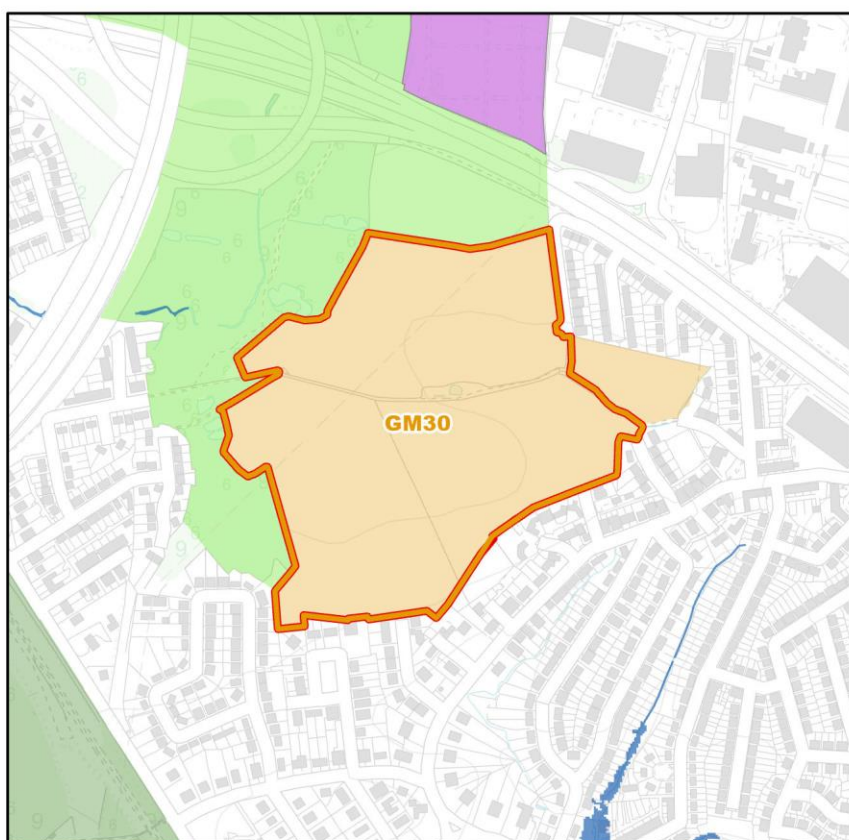
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, which will reduce containment of adjacent retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM30



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Cemetery
- Flood zone 3



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Area Description

Relatively flat farmland enclosed by woodland on the northern urban edge of Hazelhurst, part of Worsley, lying between the settlement edge and the A580 East Lancs Road. The Allocation contains no urbanising development to diminish openness. However, inset development to the south and east create a degree of containment within the Allocation, and the woodland to the north and west also contribute to this sense of encroachment. Residential garden boundaries provide minimal distinction from the urban edge. The outer boundary with adjacent retained Green Belt land to the north and west is defined in part by the woodland of Wardley Woods, but to the north there are no significant features on the ground.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Worsley is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. However, while the Allocation is free of urbanising uses, the sense of containment by the surrounding urban development and the lack of significant boundary features between the urban development and the Allocation limits to an extent the role of this land in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The Allocation lies between the towns of Worsley and Swinton, but the towns are already linked to a significant degree. This limits the role of the land in preventing the merger of towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing the land for development would encroach on land which is free of urbanising uses, but where the extent of containment by the urban edge and the lack of distinction from urbanising uses limit the land's relationship with open countryside lying to the north.

GM30

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Worsley is a historic settlement, but land within the Allocation does not make a significant contribution to the setting of this town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM30

Impact on adjacent Green Belt

Rating: No/Negligible

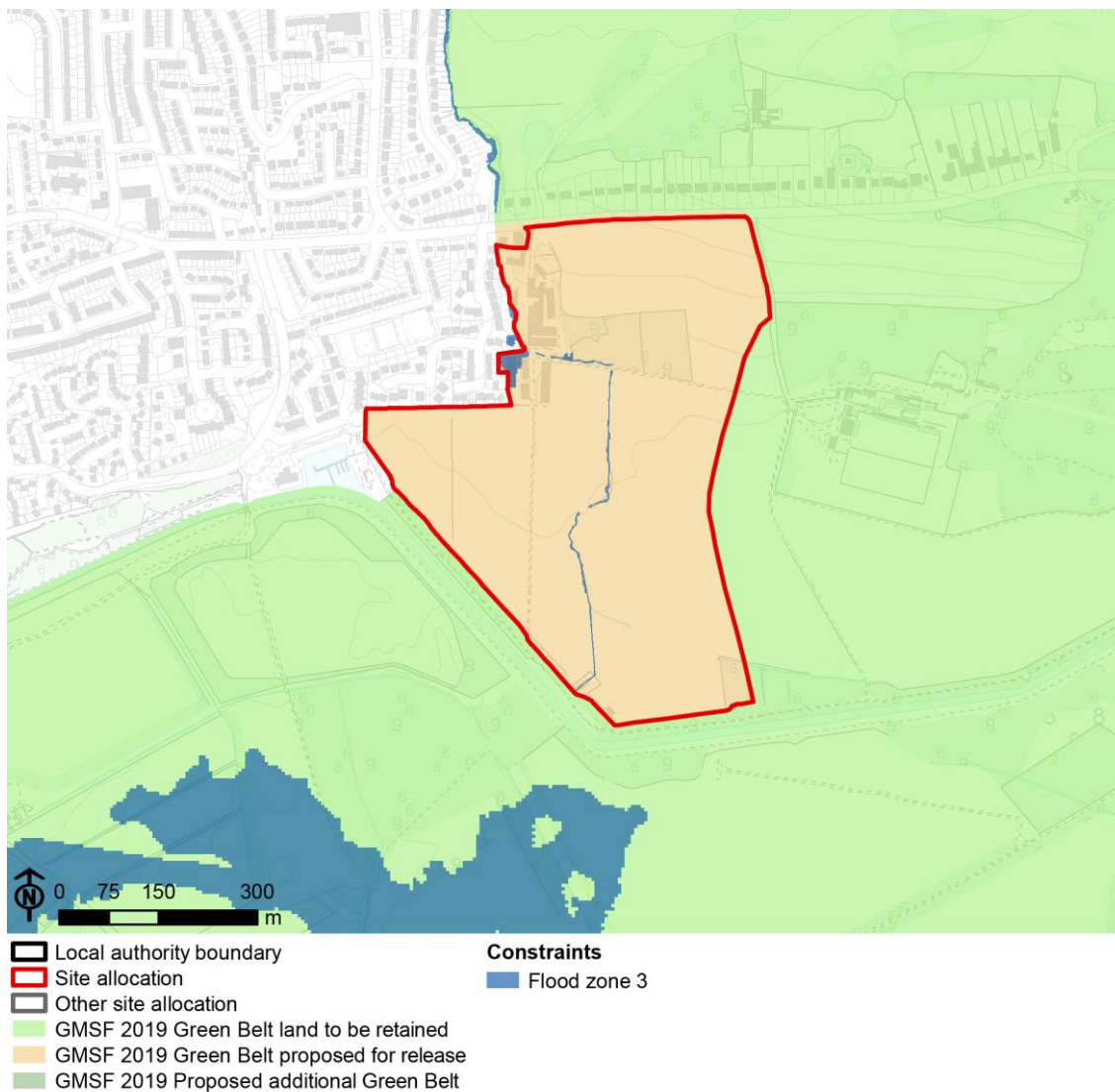
Releasing this Allocation would increase the containment of retained open woodland to the west, but the wooded nature of this area means that its distinction from the urban area would not be significantly weakened. The release would result in a relatively distinct boundary between the inset settlement and retained Green Belt land, marked by dense tree cover.

Overall harm to Green Belt purposes from release of land

Low-Moderate

Release of the Allocation would constitute moderate sprawl and encroachment on the countryside, and a negligible weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as low-moderate.

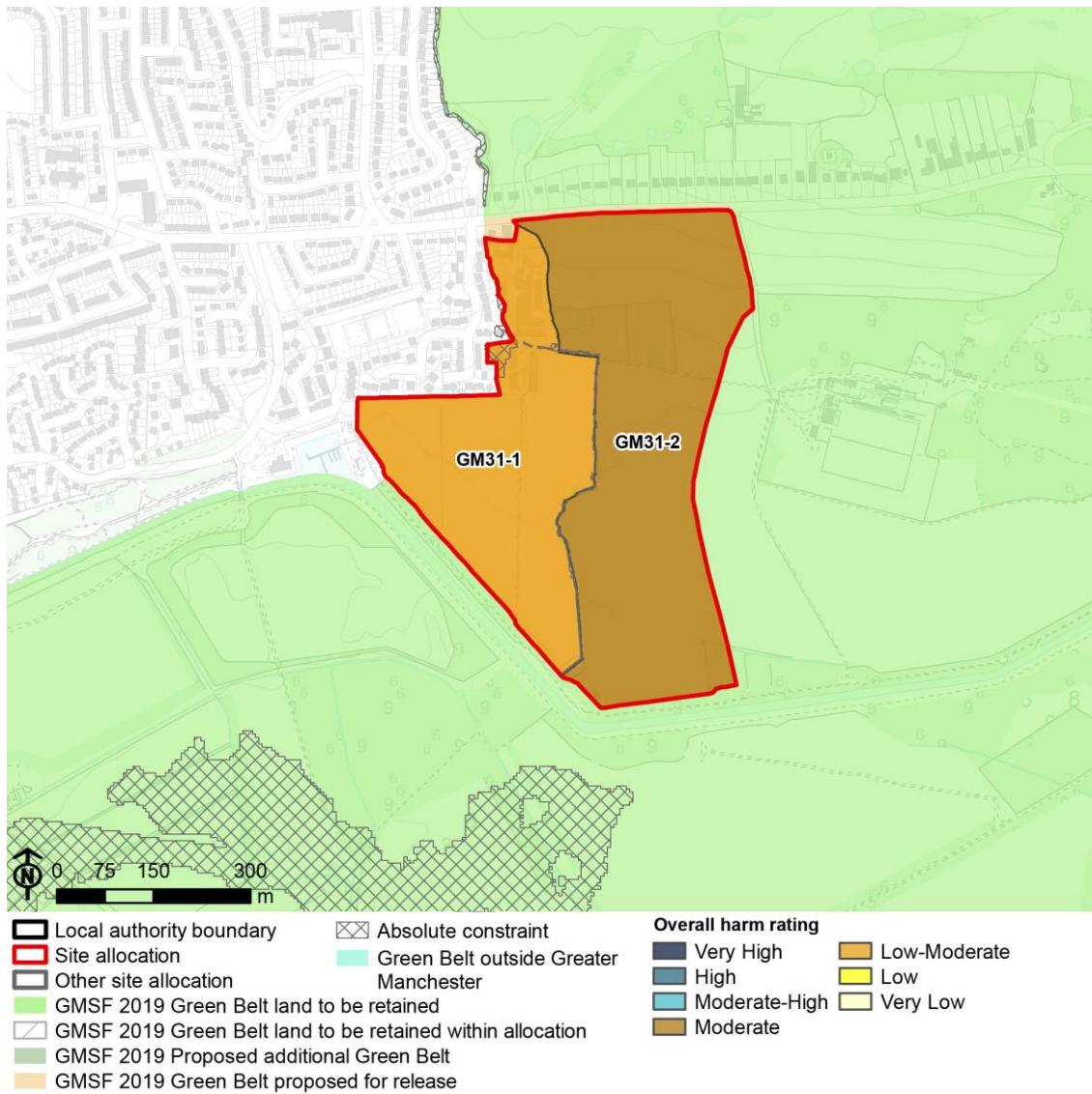
GM31 - East of Boothstown



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Farmland to the east of Boothstown and adjacent to the Bridgewater Canal, within the City of Salford.

GM31



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GM31

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate | 17.4 |
| Low-Moderate | 11.6 |
| Total Allocation area | 29 |

GM31 is split into two sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation comprises of open farmland, with a woodland block, agricultural buildings and some low density dwellings located in the north. The adjoining inset edge and the emerging RHS Bridgewater development to the east (based on the proposal details available online) create a degree of urbanising containment within the Allocation, and the land lacks distinction from the urban edge. As such, land within the Allocation makes a moderate contribution to checking the sprawl of Greater Manchester and preventing encroachment on the countryside. Land in the east of the Allocation also makes a moderate contribution to maintaining the gap between Boothstown and Ellenbrook, and Worsley, whilst the land in the west makes a lesser contribution.

Release of the Allocation would not weaken the Green Belt boundary but would lead to increased containment of retained Green Belt land to the north of Leigh Road, comprising of a golf course and washed-over development. However, the urbanising influence of that development means that release of the Allocation would not cause additional impact. Release of the Allocation would constitute moderate harm to Green Belt purposes.

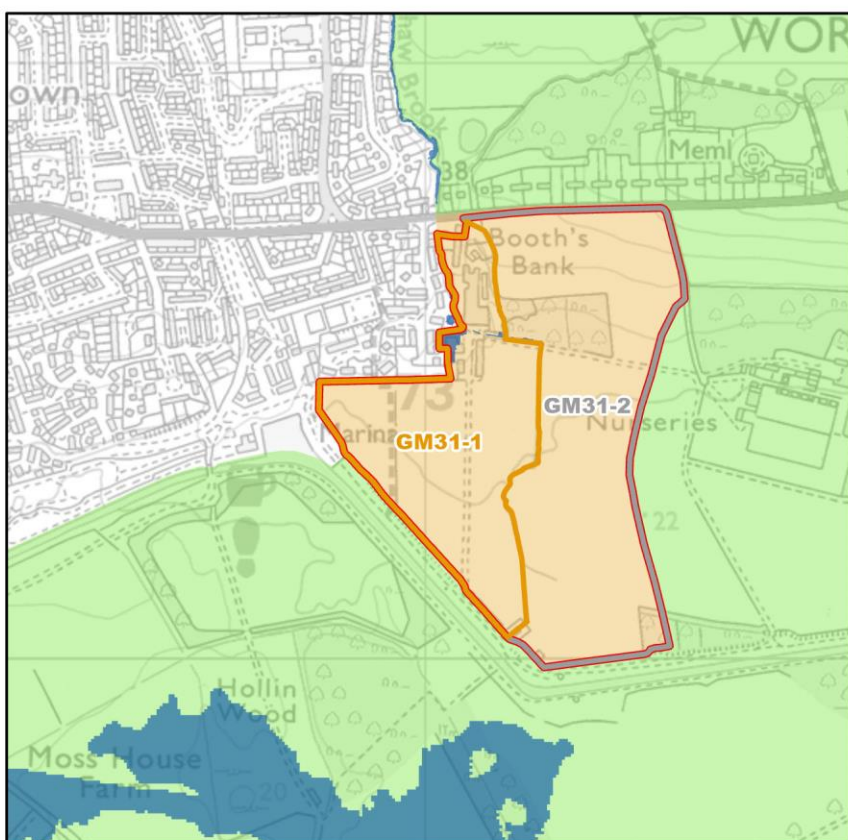
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM31-1



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM31-1

Area Description

Farmland, scattered trees and some agricultural buildings, adjacent to the eastern edge of Boothstown, including some low density dwellings and tree cover adjacent to the urban edge in the north. The dwellings in the north do not constitute a significant urbanising development which would diminish openness, however the adjacent urban edge of Boothstown to the northeast, the housing lining Leigh Road to the north, and the emerging RHS Bridgewater development to the east (based on the proposal details available online) create a degree of containment within the sub-area. Residential garden boundaries provide minimal distinction from the adjacent urban edge and the boundary with retained Green Belt land is defined by a combination of the Bridgewater Canal to the southwest. Field boundaries, a stream and a woodland block mark the edge of the sub-area with the adjoining sub-area to the east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Boothstown and Ellenbrook is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. However, the sub-area's degree of urbanising containment and lack of distinction from the urban edge limits the role of the land in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The sub-area lies between the towns of Boothstown and Ellenbrook, and Worsley, but is more closely related to the former. Releasing this land would not significantly extend the inset edge further east than the existing inset edge to the north, woodland blocks act as relatively significant separating features between the two towns, and other Green Belt land outside of the Allocation plays a stronger role in maintaining separation.

GM31-1

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

The release would encroach on land which, despite some localised low density dwellings, is perceived as countryside. However, the sub-area's degree of urbanising containment and lack of distinction from the urban edge limits the role of the land in preventing encroachment on the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Limited

The land here is an element of the setting of the historic settlement of Worsley. Release of this land would detract from this but would not affect key elements of historic character and setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM31-1

Impact on adjacent Green Belt

Rating: No/negligible

Releasing this sub-area, as part of the release of the Allocation as a whole, would not significantly increase the containment of any retained Green Belt land. It would also result in a relatively distinct revised boundary between the inset settlement and retained Green Belt land to the southwest, which would be defined by the Bridgewater Canal. Release would have no bearing on the strength of retained Green Belt land to the east, as the release of the Allocation as a whole would not weaken retained Green Belt land.




Overall harm to Green Belt purposes from release of land

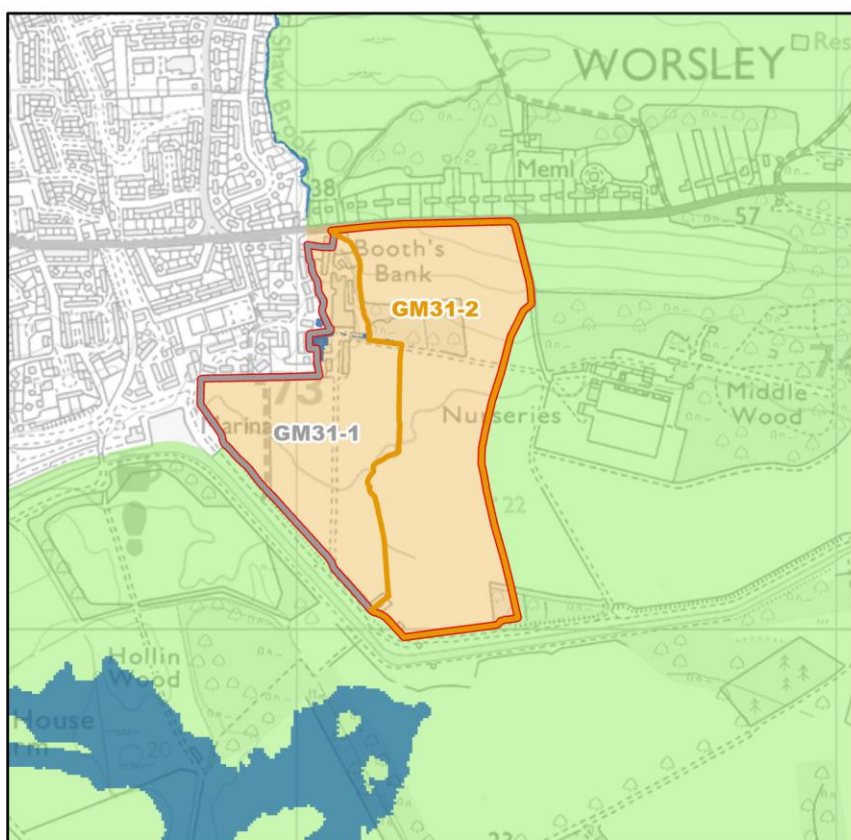
Low-Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside, a relatively limited impact on preserving the setting of a historic settlement, and a relatively limited impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as low-moderate.

GM31-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



0 0.15 0.3 0.6 km

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GM31-2

Area Description

Relatively flat farmland and woodland block lying to the east of Boothstown, in the gap with the neighbouring settlement of Worsley. The sub-area contains no urbanising development to diminish openness, however the housing lining Leigh Road to the north, and the emerging RHS Bridgewater development to the east (based on the proposal details available online) create a degree of containment within the sub-area. Areas of tree cover and Shaw Brook provide some limited distinction from the adjacent sub-area to the west and the inset settlement beyond. To the south the boundary with adjacent retained Green Belt land is marked by the Bridgewater Canal.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Boothstown and Ellenbrook forms part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. Despite its degree of urbanising containment, the sub-area has some distinction from the urban edge and its openness contributes to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would reduce the gap between Boothstown and Ellenbrook, and Worsley that is relatively narrow (circa 1.4 km) but the woodland at Middle Wood and the M60 motorway would remain as significant separating features.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

The release would encroach on land which, despite a degree of urbanising containment, is itself free of urbanising development and has some distinction from the urban edge and as such is generally perceived as countryside.

GM31-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Limited

The land here is an element of the setting of the historic settlement of Worsley. Release of this land would detract from this but would not affect key elements of historic character and setting.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM31-2

Impact on adjacent Green Belt

Rating: No/Negligible

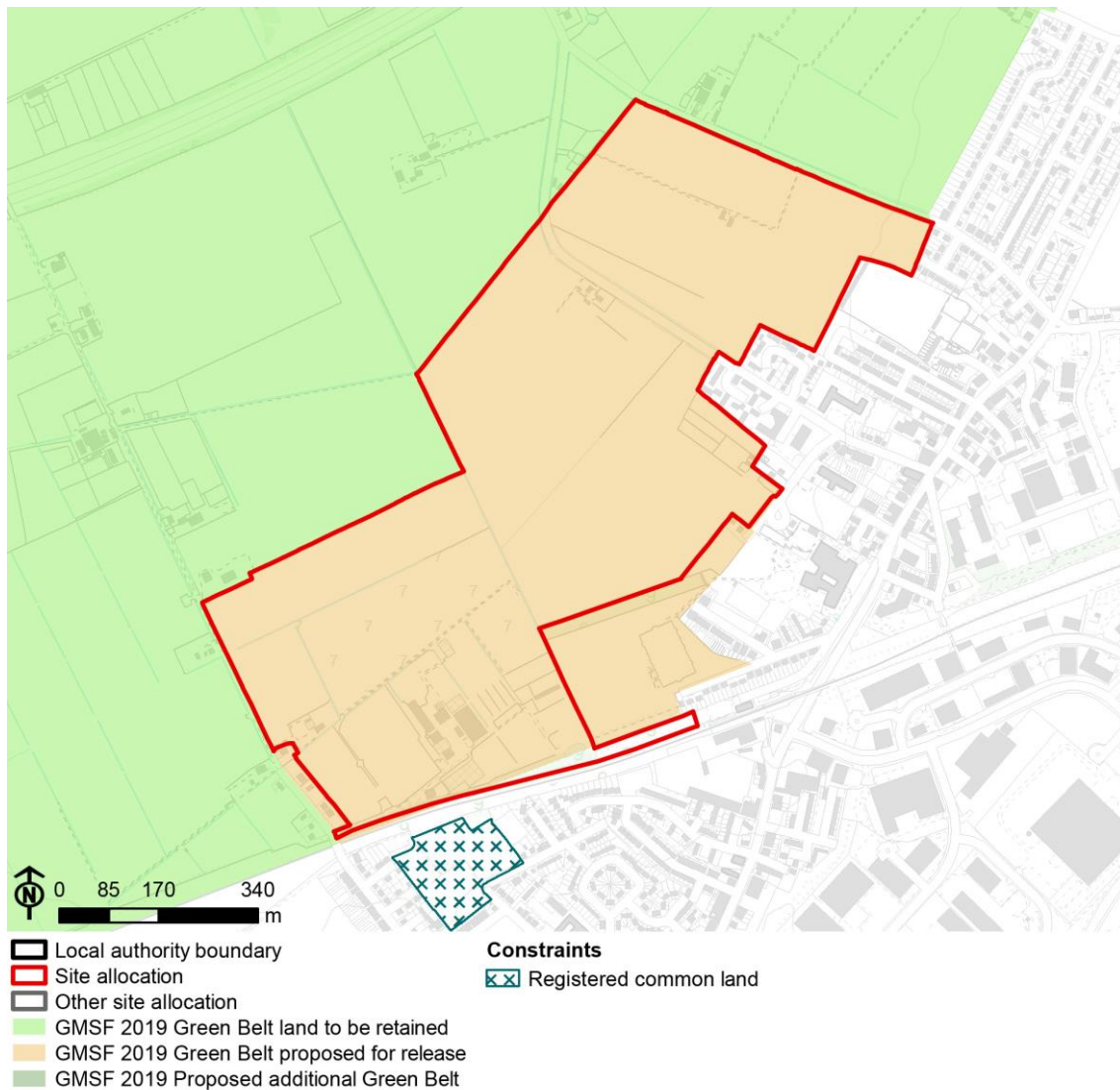
Releasing this sub-area, as part of the release of the Allocation as a whole, would lead to increased containment of retained Green Belt land to the north of Leigh Road, comprising of a golf course and washed-over development, but the urbanising influence of that development means that development in the sub-area would not cause additional impact. The release would also result in no significant change in the strength of distinction between the inset settlement and the Green Belt, which would still be have no distinct boundary feature to the east and would be bordered by the RHS Bridgewater site.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside, a moderate impact on preventing the merger of towns and a relatively limited impact on preserving the setting and special character of historic towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

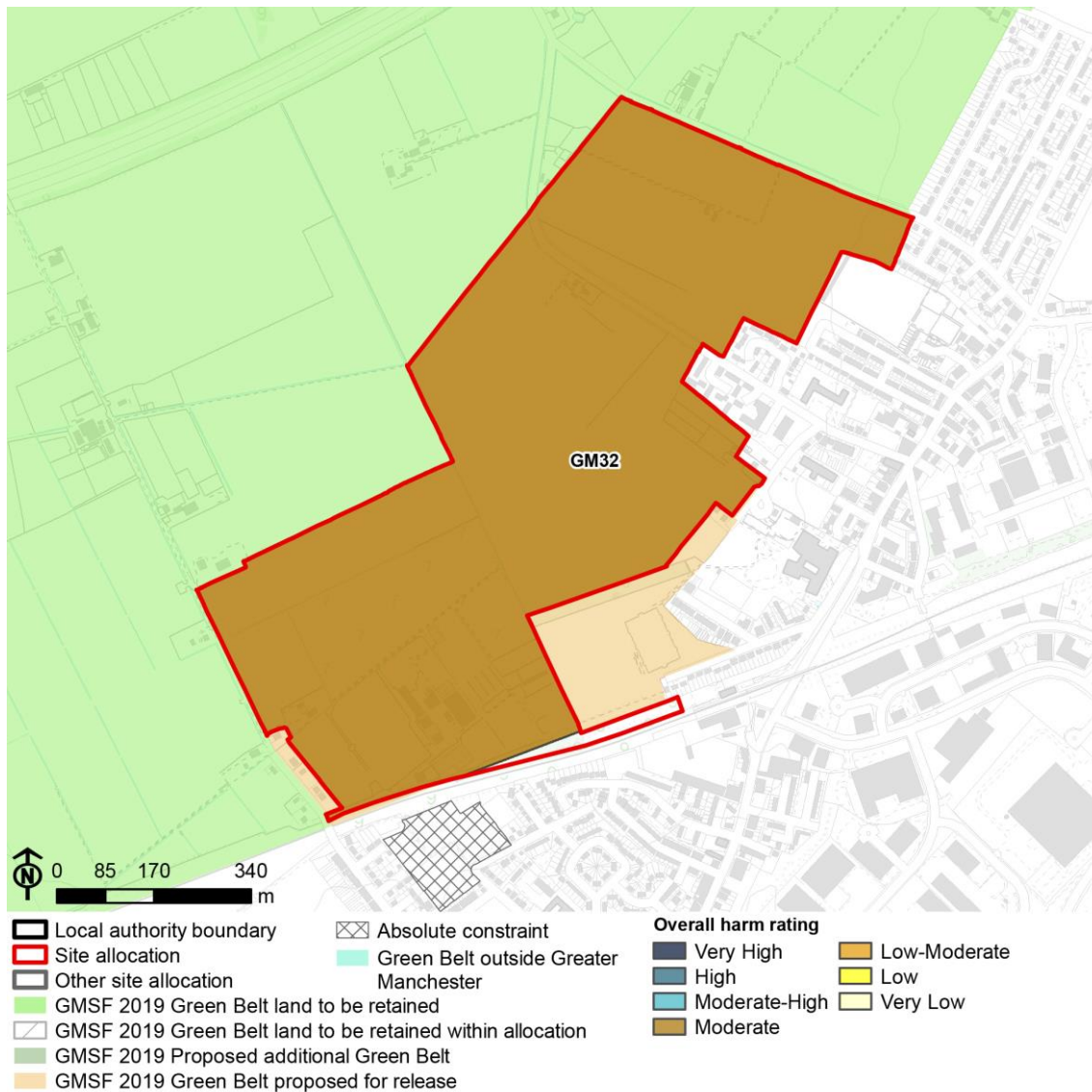
GM32 - North of Irlam Station



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Farmland lying to the north of Irlam station, within the City of Salford.

GM32



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Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate | 64.3 |
| Total Allocation area | 65.1 |

The Allocation comprises of open fields, as well as a limited number of dwellings, agricultural buildings and a wholesale plant nursery, constituting minimal urbanising development that does not significantly diminish openness. The Allocation is not contained by urbanising development however the majority of the Allocation lacks distinction from the urban edge. As such, the Allocation makes a relatively significant contribution to checking the sprawl of Greater Manchester and preventing encroachment on the countryside.

Release of the Allocation would not weaken the Green Belt boundary and would not increase the containment of any retained Green Belt land. Release of the Allocation would therefore constitute moderate harm to Green Belt purposes.

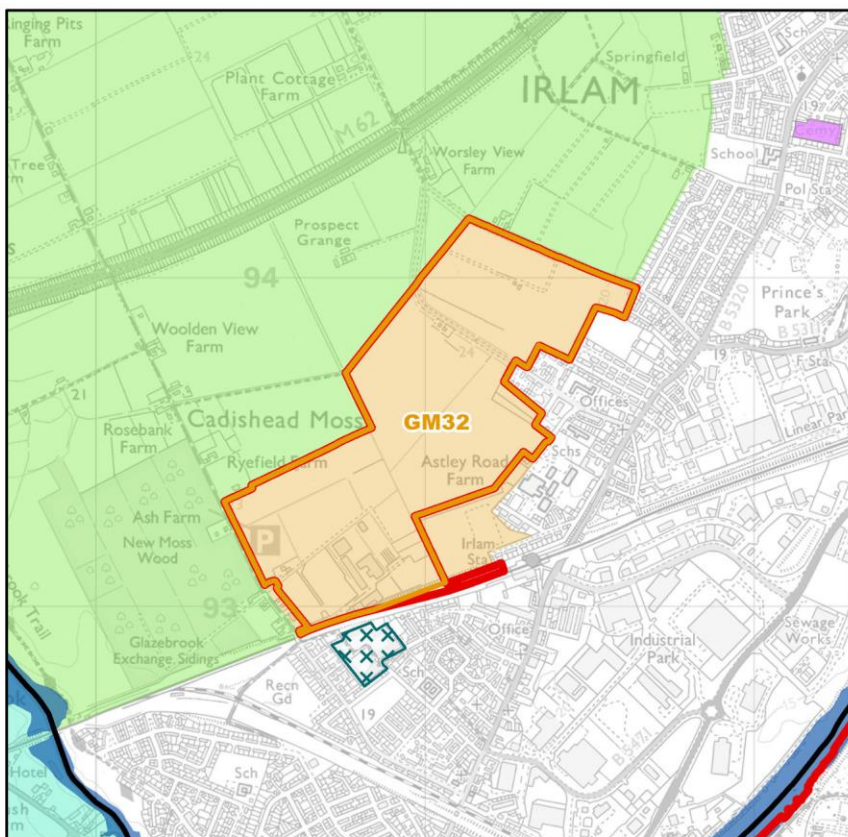
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation. Nevertheless, strengthening the boundary between the Allocation and surrounding retained Green Belt land could potentially increase the future distinction between inset land and retained Green Belt land

GM32



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Green Belt outside Greater Manchester
- Cemetery
- Registered common land
- Flood zone 3



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Area Description

Flat patchwork of fields between the settlement edge of Irlam and Cadishead. The Allocation comprises largely of open farmland with a limited number of dwellings, agricultural buildings and a wholesale plant nursery, constituting minimal urbanising development which does not significantly diminish openness. The Allocation is not significantly contained by any urbanising development and has a strong relationship with open countryside to the north and west. Aside from a small stretch to the south bound by the strong boundary feature of the railway line, the inset settlement edge is inconsistent and largely defined by residential garden boundaries, which do not create any significant distinction from the adjacent urbanising uses. The outer boundary with adjacent retained Green Belt land is defined by field boundaries and minor roads across the mosses.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

The settlement of Irlam and Cadishead are part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The Allocation is open, however the weak distinction with the urban edge limits to a degree its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The nearest towns of Culcheth (Warrington) and Birchwood (Warrington) are too far from the Allocation to be considered 'neighbouring'.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

The release would encroach on land which, despite a lack of distinction from the urban edge, is generally perceived as countryside and has a strong relationship with open land lying to the north.

GM32

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

Impact on adjacent Green Belt

Rating: No/negligible

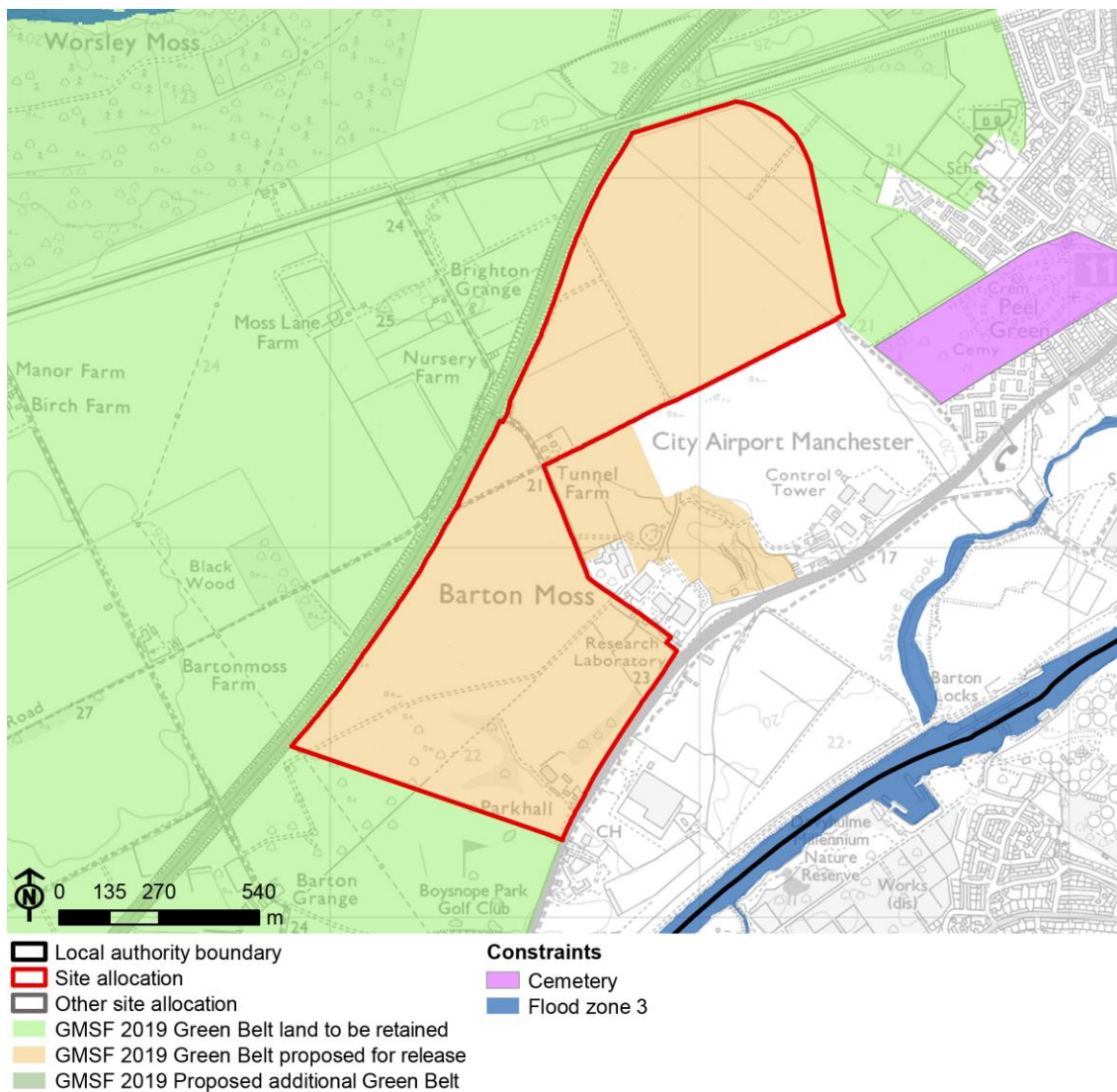
Release of the Allocation would not increase the containment of any retained Green Belt land. The release would result in minimal change in strength to the Green Belt boundary, which would subsequently be defined by a combination of hedgerows and minor roads (although the woodland of New Moss Wood beyond Moss Road would add some distinction on one of the inset edges).

Overall harm to Green Belt purposes from release of land

Moderate

Release of the Allocation would constitute relatively significant sprawl and encroachment onto the countryside, but would constitute only a negligible impact on retained Green Belt land. Harm from the release of the Allocation is therefore assessed as moderate.

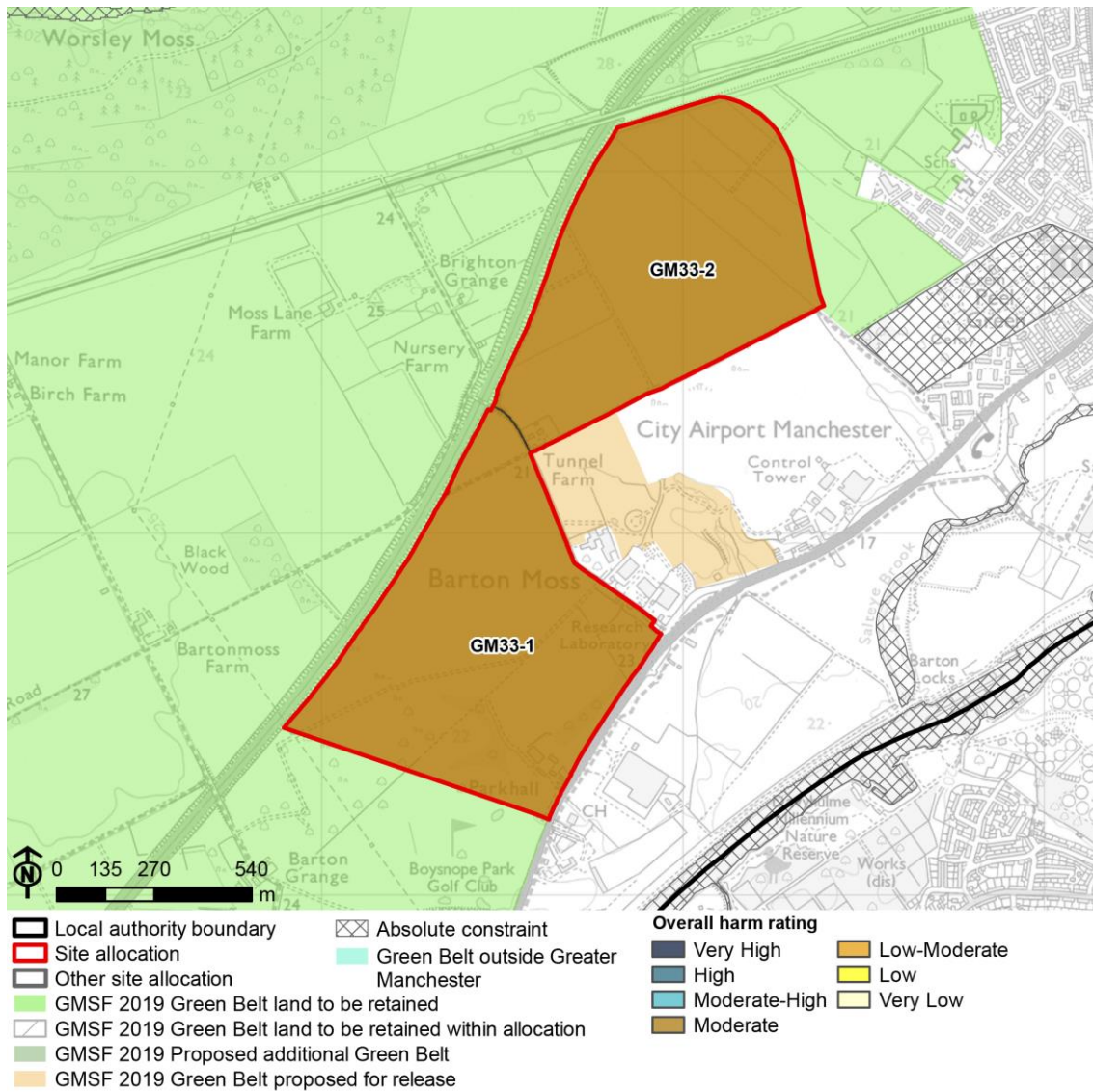
GM33 - Port Salford Extension



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Farmland and part of a golf course west of Barton Aerodrome, adjacent to Urmston and within the City of Salford.

GM33



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GM33

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate | 109.1 |
| Total Allocation area | 109.1 |

GM33 is split into two sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation comprises of open farmland and part of a golf course. The north of the Allocation is uncontained by urbanising development, but lacks distinction from the inset edge. Surrounding urbanising development creates a degree of containment within the south of the Allocation, but also lacks strong distinction from the inset edge. As such, the Allocation makes a relatively significant contribution to checking the sprawl of Greater Manchester and protecting the countryside from encroachment.

Release of the Allocation would not weaken the Green Belt boundary. In addition, although release would increase the containment of retained Green Belt land to the south and to the north east, this retained land does not make a greater contribution to the Green Belt purposes and as such its containment would not increase harm. Release of the Allocation would constitute moderate harm to Green Belt purposes.

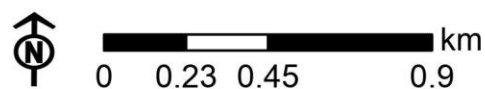
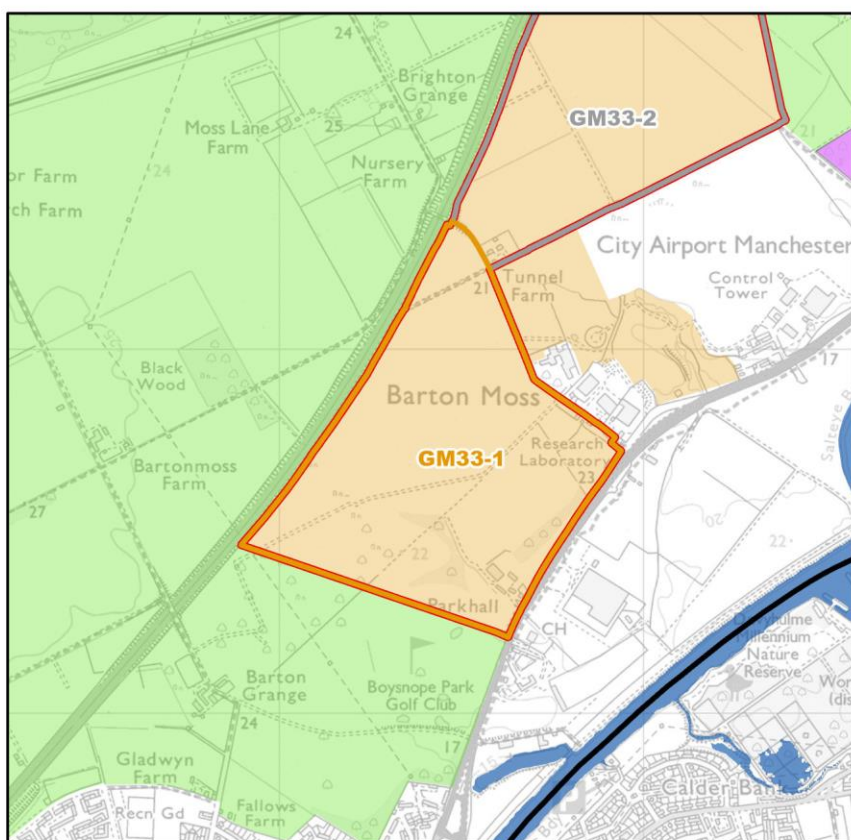
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM33-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Cemetery
- Flood zone 3



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GM33-1

Area Description

Flat area of farmland and part of the former Boysnope Park Golf Club, lying between the inset edge of Urmston and the M62 motorway. The sub-area is open land and contains no urbanising development to diminish openness, however the presence of the residential area within Irlam to the southwest, the inset settlement edge to the east and the inset research facility to the northeast create a limited degree of urbanising containment within the Allocation. The A57 creates some distinction from the adjacent urban edge, however this has already been breached by inset development. The outer boundary with adjacent retained Green Belt land is marked by the M62 to the west, while to the south the boundary is marked by no recognisable boundary features.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

The settlement of Urmston & Davyhylme is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is open and has some distinction from the urban edge, contributing to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The sub-area does lie between the towns of Urmston & Davyhylme and Eccles, as well as between Irlam and Eccles. However, all three towns are already linked to a significant degree, limiting this land's role in preserving the gap.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

The release would encroach on land which, despite a degree of containment, retains openness and is generally perceived as countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM33-1

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM33-1

Impact on adjacent Green Belt

Rating: No/Negligible

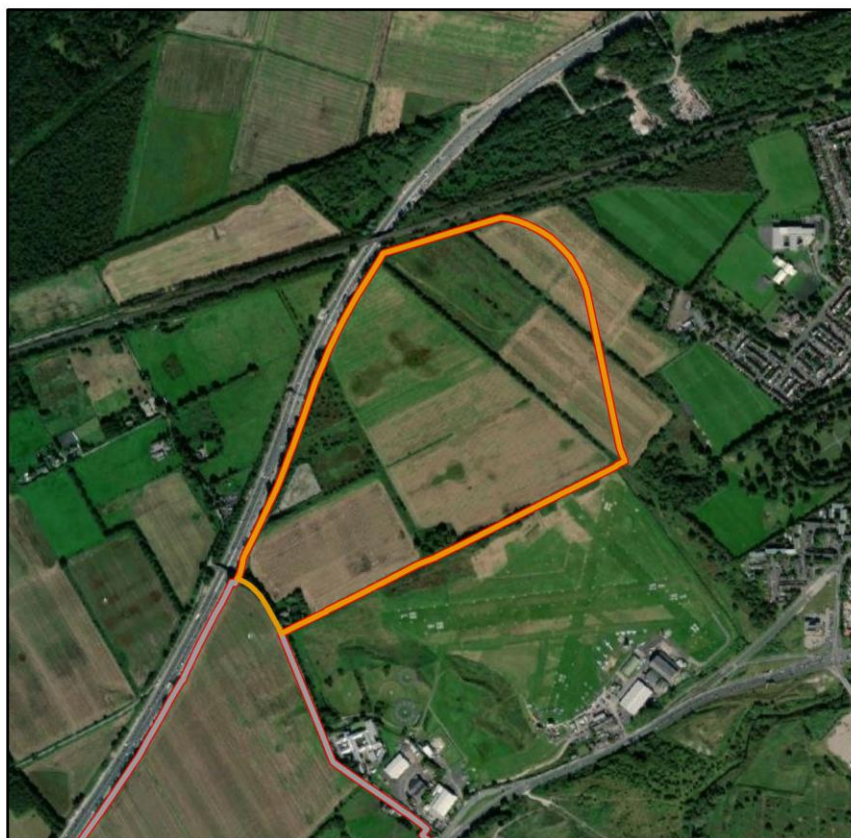
The release of the sub-area, as part of the release of the Allocation as a whole, would increase to an extent the containment of retained Green Belt land at the former golf course to the south, which would as a result be bound to the northeast, southwest and southeast by urbanising uses. However, this land does not make a greater contribution to the Green Belt purposes and as such its containment would not increase harm. In addition, it would also result in a distinct revised Green Belt boundary to the west, which would be defined by the M62 motorway.










Overall harm to Green Belt purposes from release of land

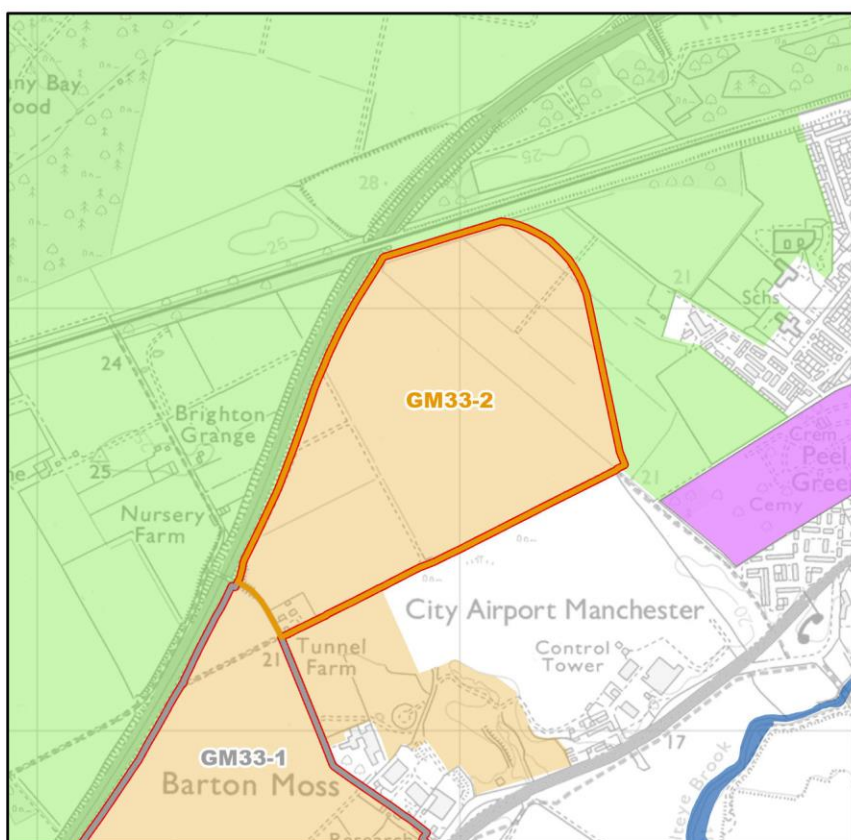
Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment onto the countryside and a relatively limited impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

GM33-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Cemetery
-  Flood zone 3



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GM33-2

Area Description

Flat area of farmland to the north of Barton Aerodrome, with scattered trees and agricultural buildings. The sub-area contains no urbanising development to diminish openness and is not contained by any surrounding urbanising development. The boundary with the airfield on the inset edge creates no significant distinction from the adjacent inset area. The outer boundary with adjacent retained Green Belt land is distinctly defined by the M62 to the west, a railway line to the north, and the emerging Port Salford rail link to the northeast.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

The settlement of Urmston & Davyhylme is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is open, however the lack of distinction from the inset edge limits to an extent its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The sub-area does lie between the towns of Urmston & Davyhylme and Eccles, as well as between Irlam and Eccles. However, all three towns are already linked to a significant degree, limiting this land's role in preserving the gap.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Due to the openness and uncontained nature of the sub-area, its release would encroach on land which is perceived as countryside, and has a relatively strong relationship with adjacent open land.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM33-2

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM33-2

Impact on adjacent Green Belt

Rating: No/negligible

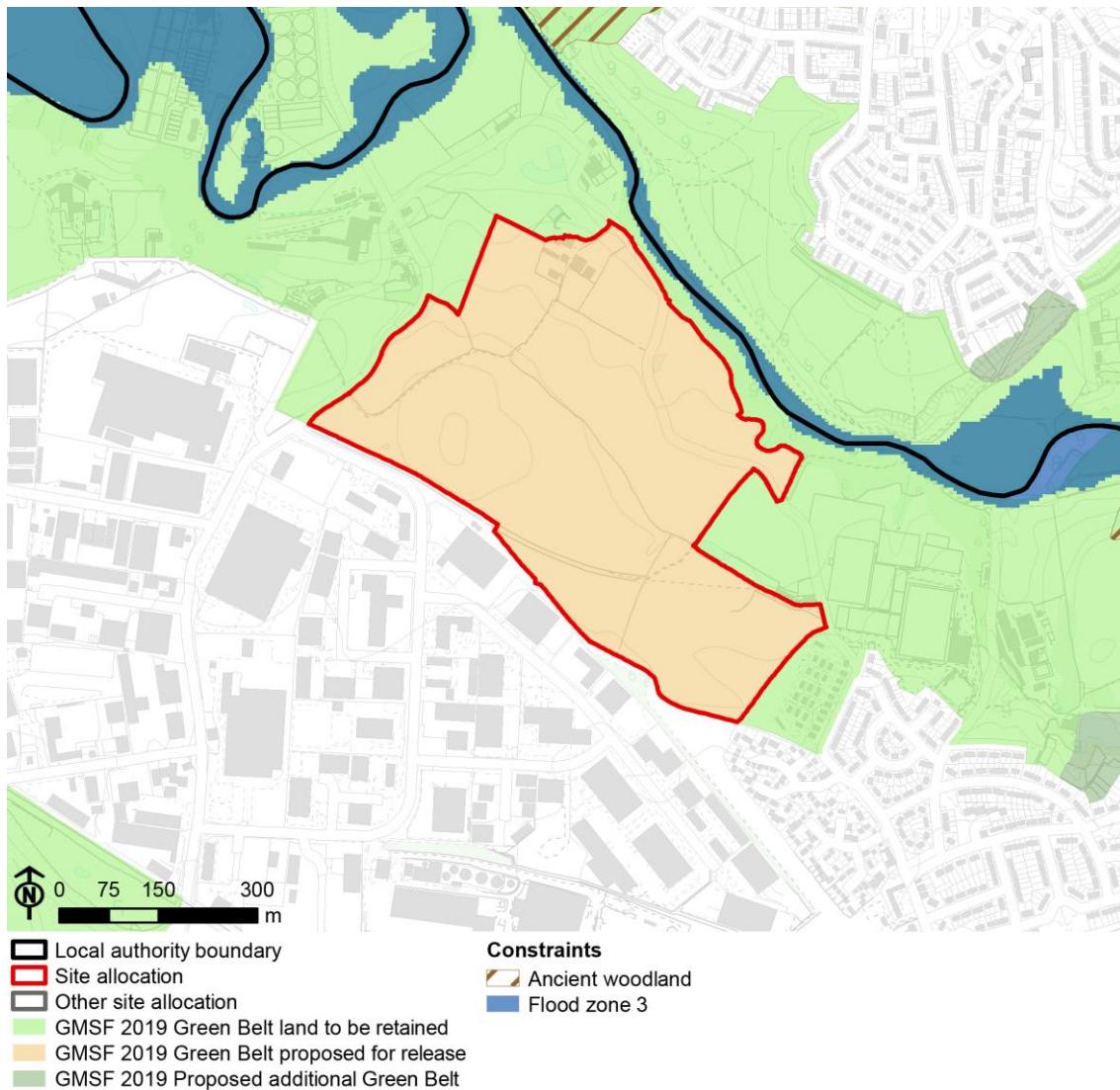
The release of this sub-area, as part of the release of the Allocation as a whole, would lead to some degree of containment of retained Green Belt land to the east between the M60 and M62, however the latter contributes little to Green Belt purposes due to its containment and lack of distinction with the urban edge and as such its containment would not increase harm. The release would also result in a distinct revised Green Belt boundary to the west, defined by the M62, a railway line, the emerging Port Salford Rail link and Barton Moss Road.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment onto the countryside but a relatively limited impact on preventing the merger of towns. It would constitute a negligible impact on retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

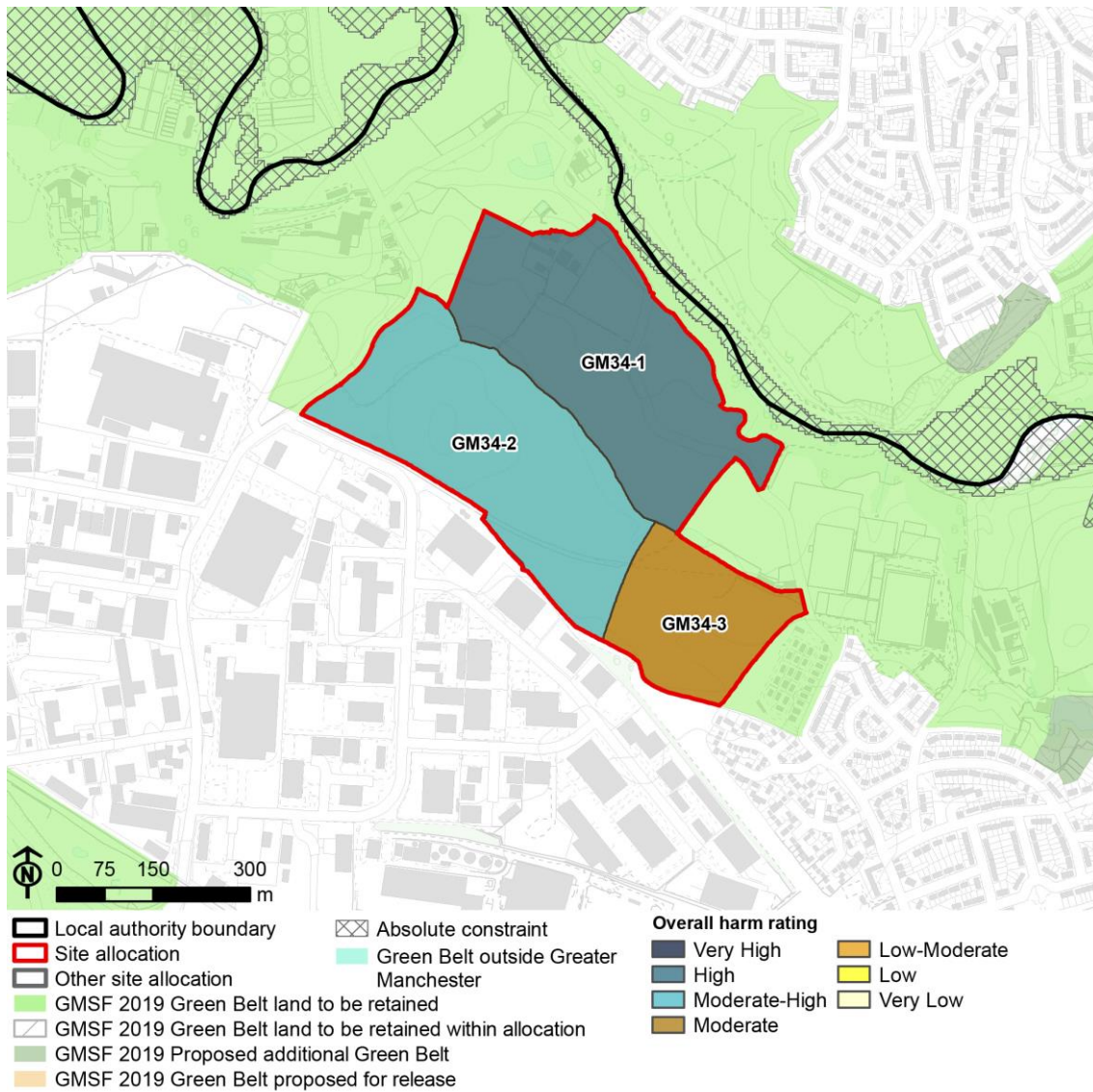
GM34 - Bredbury Park Extension



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Land to the east of Bredbury Park Industrial Estate, within the Metropolitan Borough of Stockport.

GM34



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GM34

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| High | 11.8 |
| Moderate-High | 11.6 |
| Moderate | 5 |
| Total Allocation area | 28.5 |

GM34 is split into three sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation comprises of open fields. The surrounding urban edge creates a degree of urbanising containment within the south of the Allocation, but much of the Allocation retains some distinction from the urban edge. Land within the north of the Allocation makes a significant contribution to checking the sprawl of Greater Manchester and preventing encroachment on the countryside, and a relatively significant contribution to maintaining the separation of Bredbury and Denton, with more contained land in the south, and in particular the southeast of the Allocation making a lesser contribution.





Release of the Allocation would not weaken the Green Belt boundary, however it would reduce the connectivity of retained Green Belt land. The gap between Bredbury and Denton would be reduced, but the steeply sloping, wooded corridor of the River Tame would remain a strong separating feature. Release of the Allocation would constitute high harm to Green Belt purposes.

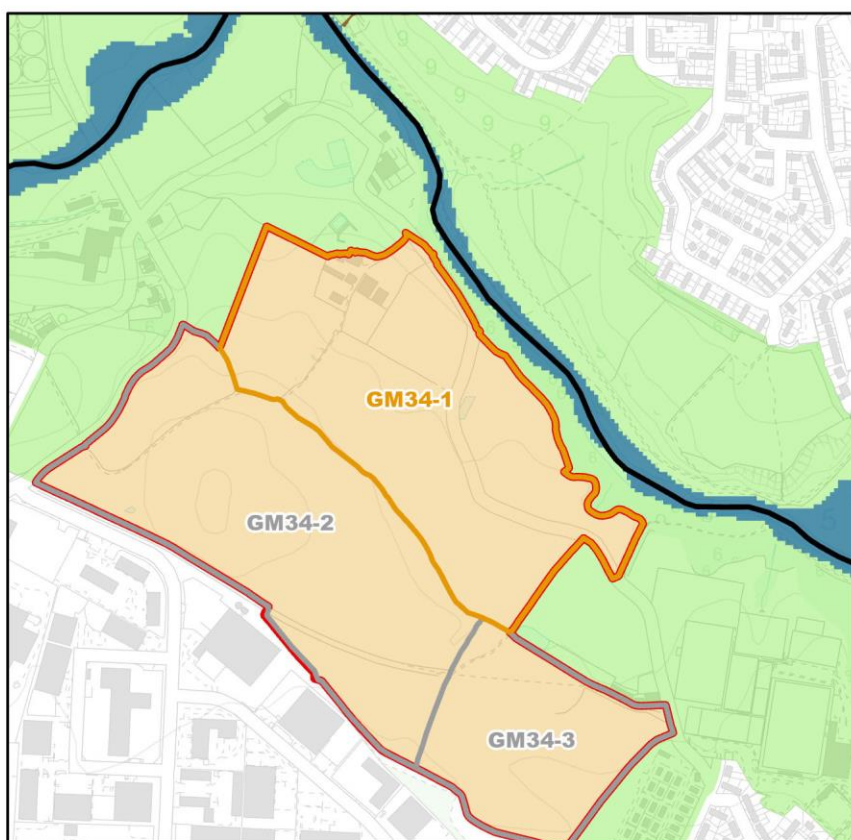
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, resulting in the increased containment and reduced connectivity of retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation. Nevertheless, strengthening the boundary between the Allocation and surrounding retained Green Belt land could potentially increase the future distinction between inset land and retained Green Belt land, and help to limit the perception of containment and narrowing of the gap between Bredbury and Denton.

GM34-1



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Ancient woodland
-  Flood zone 3



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GM34-1

Area Description

Slightly more steeply sloping farmland lying to the east of Bredbury Park Industrial Estate, sloping down to the wooded River Tame Valley (and the Local Nature Reserve beyond). The sub-area has no urbanising development to diminish openness and is not contained by urbanising development. The field boundary provides minimal distinction from the adjacent sub-area to the south, where the tree-lined edge of the industrial estate creates some sense of distinction with the inset edge. The outer boundary with adjacent retained Green Belt land is defined to the east by the River Tame Valley and associated tree cover and elsewhere by tree-lined field boundaries.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Bredbury is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. The sub-area is open and has a strong relationship with open countryside, which contributes to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would reduce an already narrow gap between the towns of Bredbury and Denton, which are distinct but intervisible due to the valley landform. While the river valley and adjacent Local Nature Reserve (LNR) would remain as separating features, the release would nonetheless significantly weaken the integrity of this Green Belt gap.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

The release would encroach on land which, due to the absence of urbanising development and lack of containment, is perceived as countryside. The sloping nature of the river valley landform contributes to the sense of openness.

GM34-1

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM34-1

Impact on adjacent Green Belt

Rating: Minor

Release of the sub-area, as part of the release of the Allocation as a whole, would reduce the connectivity of retained Green Belt land, but the steeply sloping, wooded corridor of the River Tame would remain a strong separating feature between Bredbury and Denton. The release would, however, result in a more distinct revised Green Belt boundary, which would be defined by the wooded River Tame Valley and adjacent Local Nature Reserve (LNR).



Overall harm to Green Belt purposes from release of land

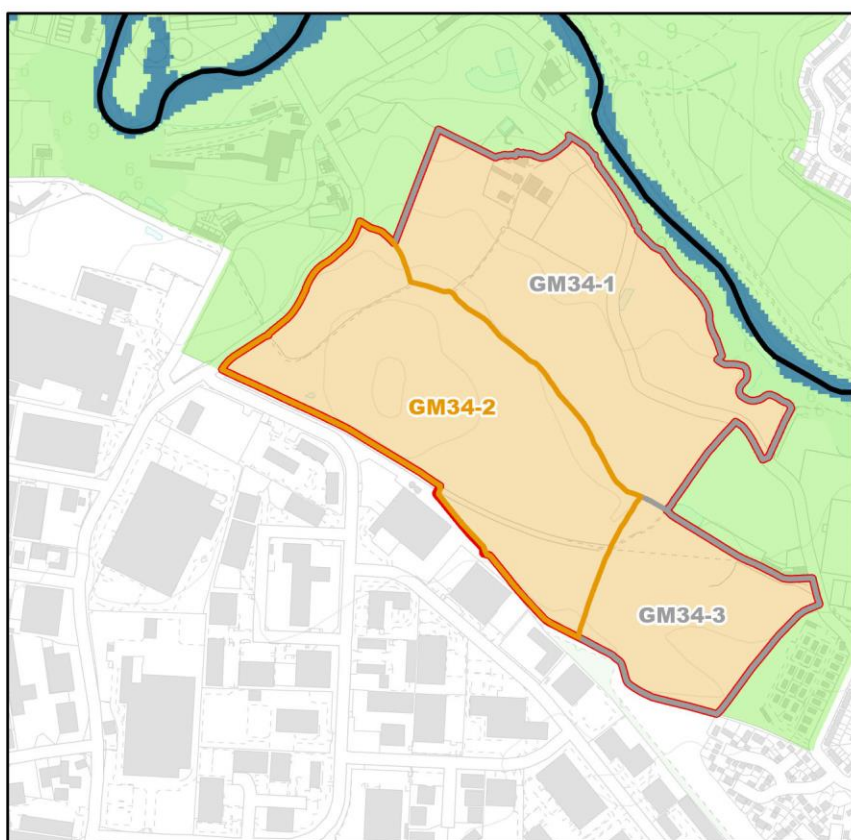
High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, and would have a relatively significant impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as high.

GM34-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM34-2

Area Description

Gently sloping farmland lying adjacent to the inset edge of the Bredbury Park Industrial Estate (north of the town of Bredbury) and close to the border with the Metropolitan Borough of Tameside. The land slopes down toward the wooded River Tame Valley (and the Local Nature Reserve beyond). The sub-area is open farmland, has no urbanising development to diminish openness, and has only a very limited sense of containment by surrounding urbanising uses. The tree-lined edge of the industrial estate creates some sense of distinction with the inset edge to the south. The outer boundary with adjacent Green Belt land is marked to the west by Ashton Road, whilst field boundaries mark the edge of the sub-area with adjoining sub-areas.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Bredbury is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. However the limited distinction with urbanising uses on the edge of Bredbury Industrial Estate limits its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would reduce the gap between the neighbouring towns of Bredbury and Denton, which is relatively narrow (circa 650m), but where the wooded river valley would remain as a significant separating feature between the two.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

The release would encroach on land which, despite the proximity with urbanising uses, is generally perceived as countryside. The slightly sloping nature of the land contributes to the sense of openness.

GM34-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM34-2

Impact on adjacent Green Belt

Rating: Minor

Release of the sub-area, as part of the release of the Allocation as a whole, would increase the containment of adjacent land to the east. However, release would have no bearing on the strength of retained Green Belt land to the north and east, as the release of the Allocation as a whole would not weaken the distinction between inset settlement and retained Green Belt land.









Overall harm to Green Belt purposes from release of land

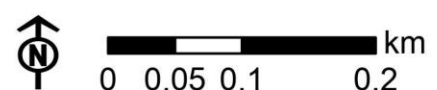
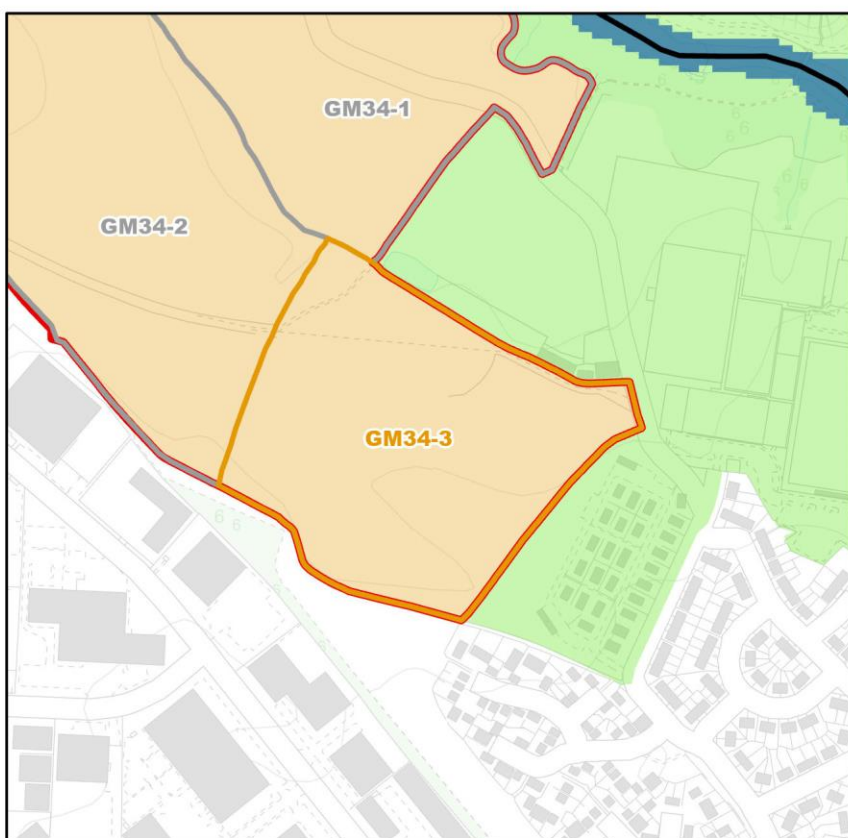
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. The release would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM34-3



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM34-3

Area Description

Gently sloping field lying adjacent to the inset edge of the Bredbury Park Industrial Estate (north of the town of Bredbury) and close to the border with the Metropolitan Borough of Tameside. The land slopes down toward the wooded River Tame Valley (and the Local Nature Reserve beyond). The sub-area has no urbanising development to diminish openness, however the surrounding urban edge to the south and the washed over development to the east create a degree of urbanising containment. The tree-lined edge of the industrial estate creates some distinction with the inset edge to the south, however the field boundary and washed over development to the east creates limited distinction from the inset edge to the east. The outer boundary with adjacent Green Belt land is marked to the east and north by field boundaries.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Bredbury is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. However the sense of containment within this sub-area, and the limited distinction with urbanising uses on the edge of Bredbury Industrial Estate, limits its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

This land does lie in the gap between the neighbouring towns of Bredbury and Denton, which is relatively narrow (circa 650m), but where the wooded river valley would remain as a significant separating feature between the two. The fact that this sub-area does not extend further east than the existing urbanising development to the south also limits the role of this land in preserving the gap between towns.

GM34-3

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

The release would encroach on land which is free of urbanising development, but where a sense of containment limits its perception as open countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM34-3

Impact on adjacent Green Belt

Rating: Minor

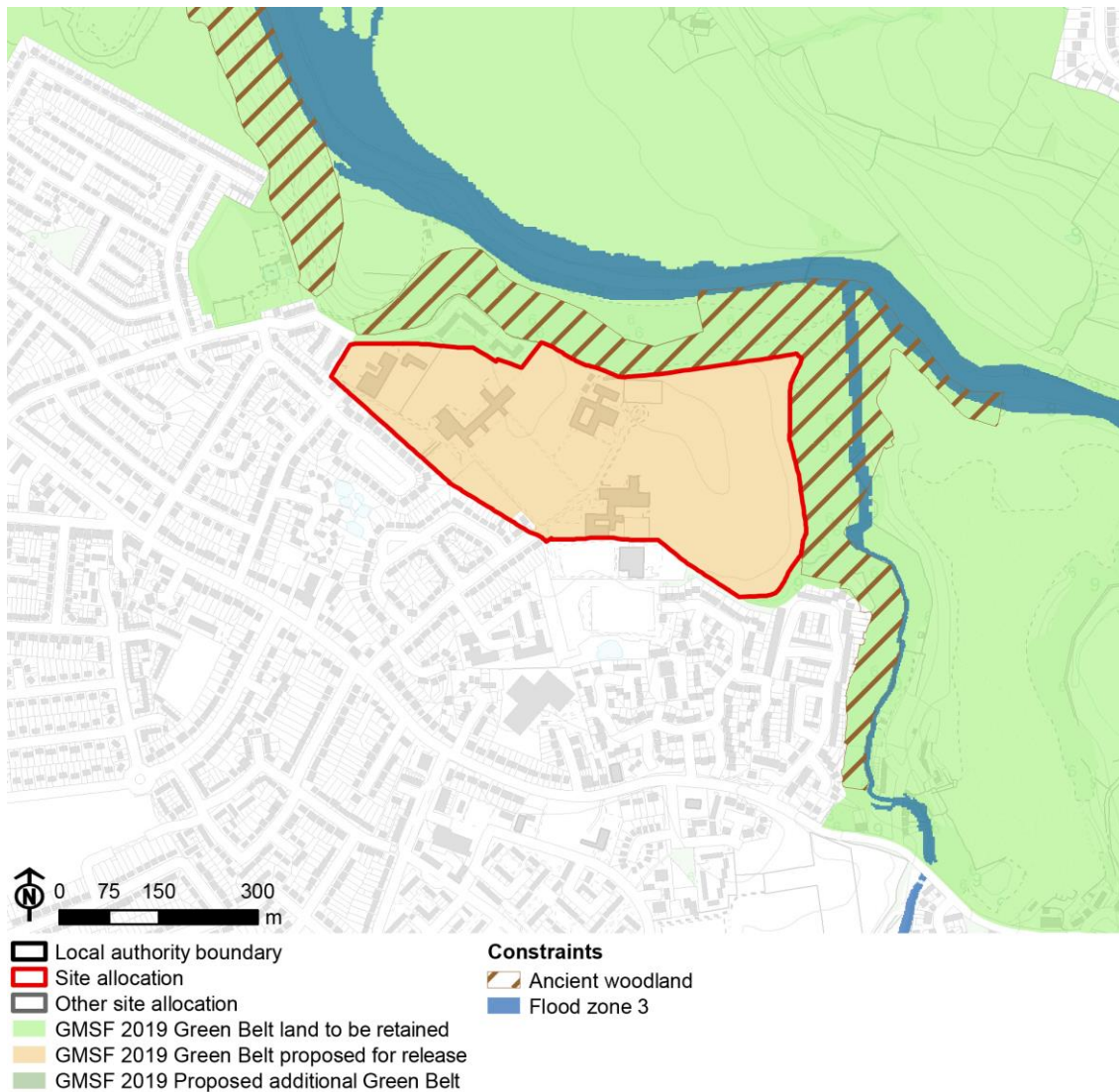
Releasing this sub-area, as part of the release of the Allocation as a whole, would lead to some increased containment of retained Green Belt land to the east, however this land contains urbanising uses and makes a weaker contribution to Green Belt purposes, and as such its containment would not increase harm. Release would however increase containment of retained Green Belt land to the north. Releasing this sub-area, as part of the release of the Allocation as a whole, would have no significant impact on the strength of distinction between the inset edge and adjacent Green Belt land.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. The release would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

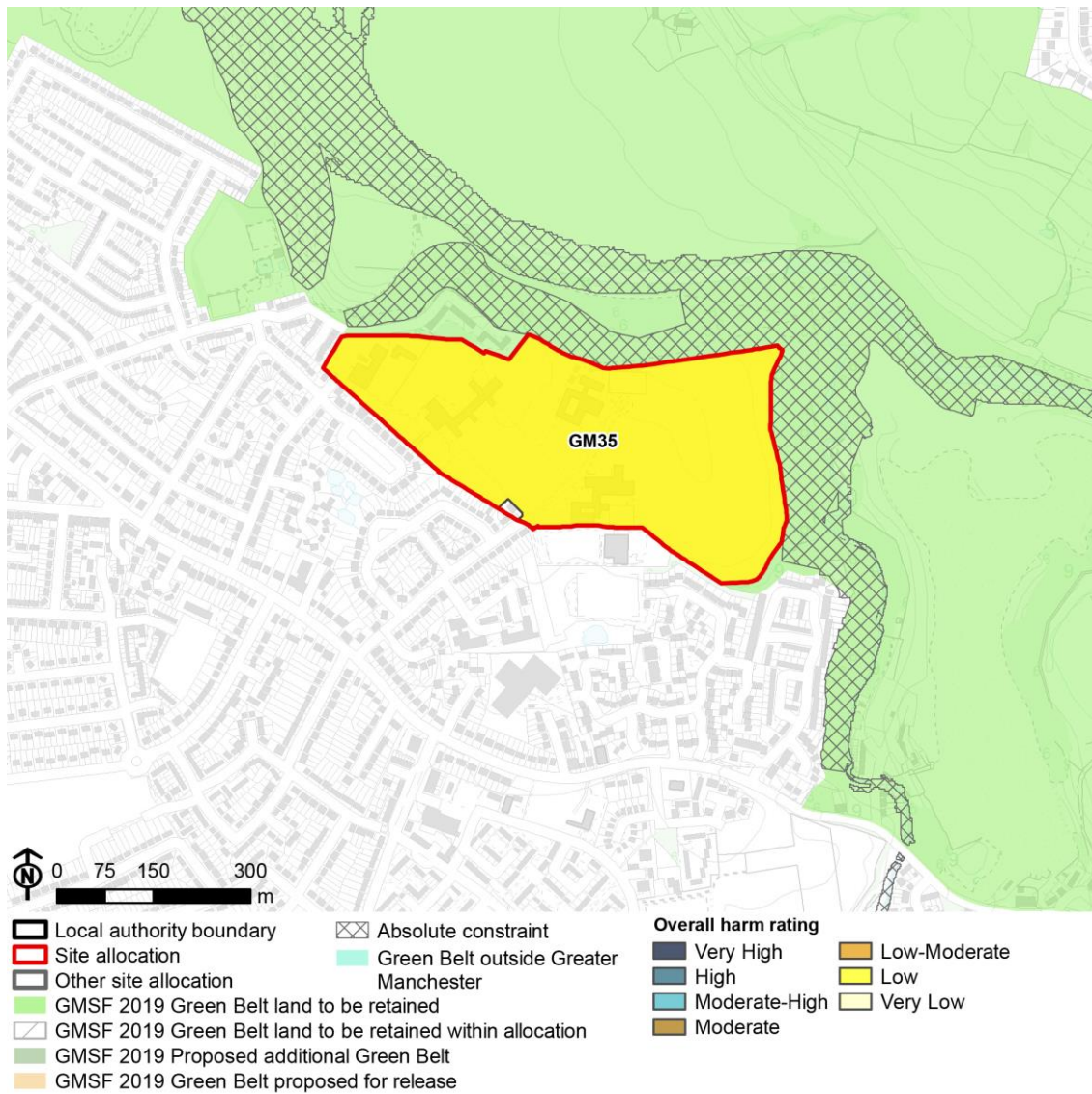
GM35 - Former Offerton High School



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Grounds and buildings of former Offerton High School on the edge of Offerton, within the Metropolitan Borough of Stockport.

GM35



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Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Low | 16.9 |
| Total Allocation area | 16.9 |

The Allocation comprises of buildings currently used by Castle Hill High School and Fairway Primary School, along with playing fields and adjacent open land. Despite the presence of the various school buildings, the urbanising development within the Allocation is limited and it retains sufficient areas of open space for it to retain some sense of openness. However, the land lacks distinction from the inset settlement edge, and this in conjunction with the tightly surrounding woodland creates a sense of urbanising containment within the Allocation. As such, the Allocation makes a relatively limited contribution to checking the sprawl of Greater Manchester, and makes a limited contribution to other Green Belt purposes.

Release of the Allocation would result in a distinct and consistent boundary between the inset settlement of Offerton and the surrounding Green Belt, and would not increase the containment of any retained Green Belt land. Release of the Allocation would therefore constitute low harm to Green Belt purposes.

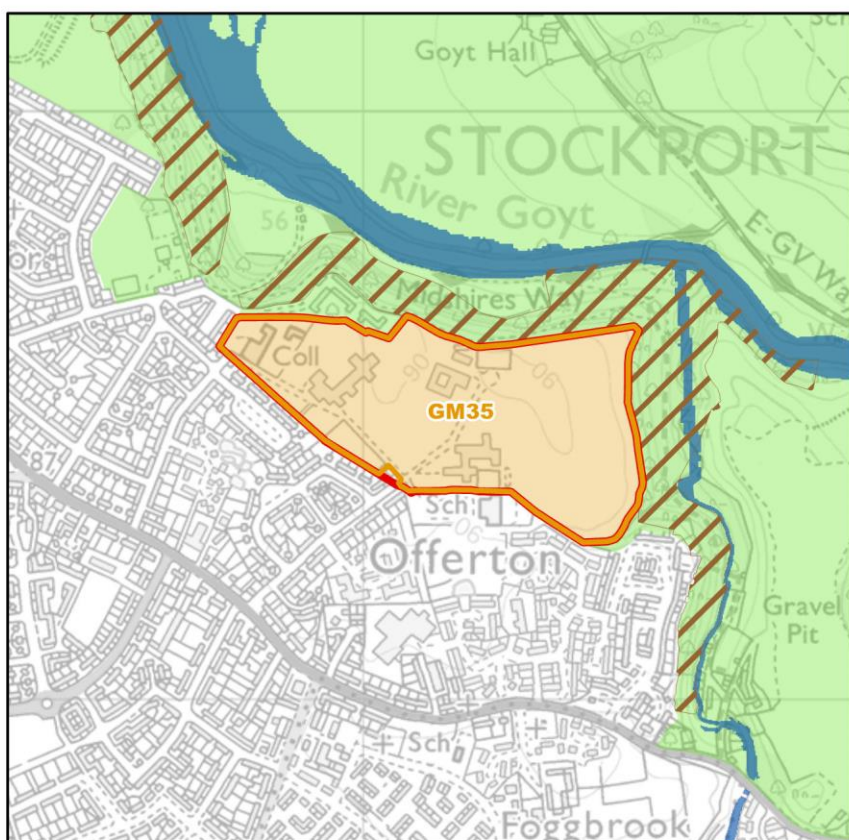
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM35



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Ancient woodland
- Flood zone 3



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Area Description

Buildings currently used by Castle Hill High School and Fairway Primary School, along with playing fields and adjacent open land. Despite the presence of the various school buildings, the urbanising development within the Allocation is limited and it retains sufficient areas of open space for it to retain some sense of openness. However the land is significantly contained by both the settlement edge of Offerton and the dense woodland belt surrounding it. The inset edge of Offerton is currently weakly defined, mostly by residential garden boundaries, creating little significant distinction from the adjacent urban edge. The outer boundary with adjacent retained Green Belt land is strongly defined by a belt of ancient woodland at Offerton Wood and the Poise Brook Local Nature Reserve (LNR) alongside the River Goyt.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

Offerton is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. However both the existing urbanising development within the Allocation, and the weak distinction on the existing urban edge, limit its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The release of this land would reduce the gap between the towns of Offerton and Bredbury, however the significant distance west to Bredbury and the urbanising development existing within the Allocation both limit the role this land can play in preserving separation between the two.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Limited/No

The Allocation retains areas that are open in character, however the extent of existing development and the strong association with urbanising uses within Offerton significantly limit the extent to which this land can be perceived as open countryside.

GM35

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Despite the fact that this land is in principle visible from a number of nearby historic settlements, in practice it does not make a significant contribution to the setting of any of these, in part due to visual screening (provided by buildings, roads, trees etc) and the flat/gently undulating topography.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM35

Impact on adjacent Green Belt

Rating: No/negligible

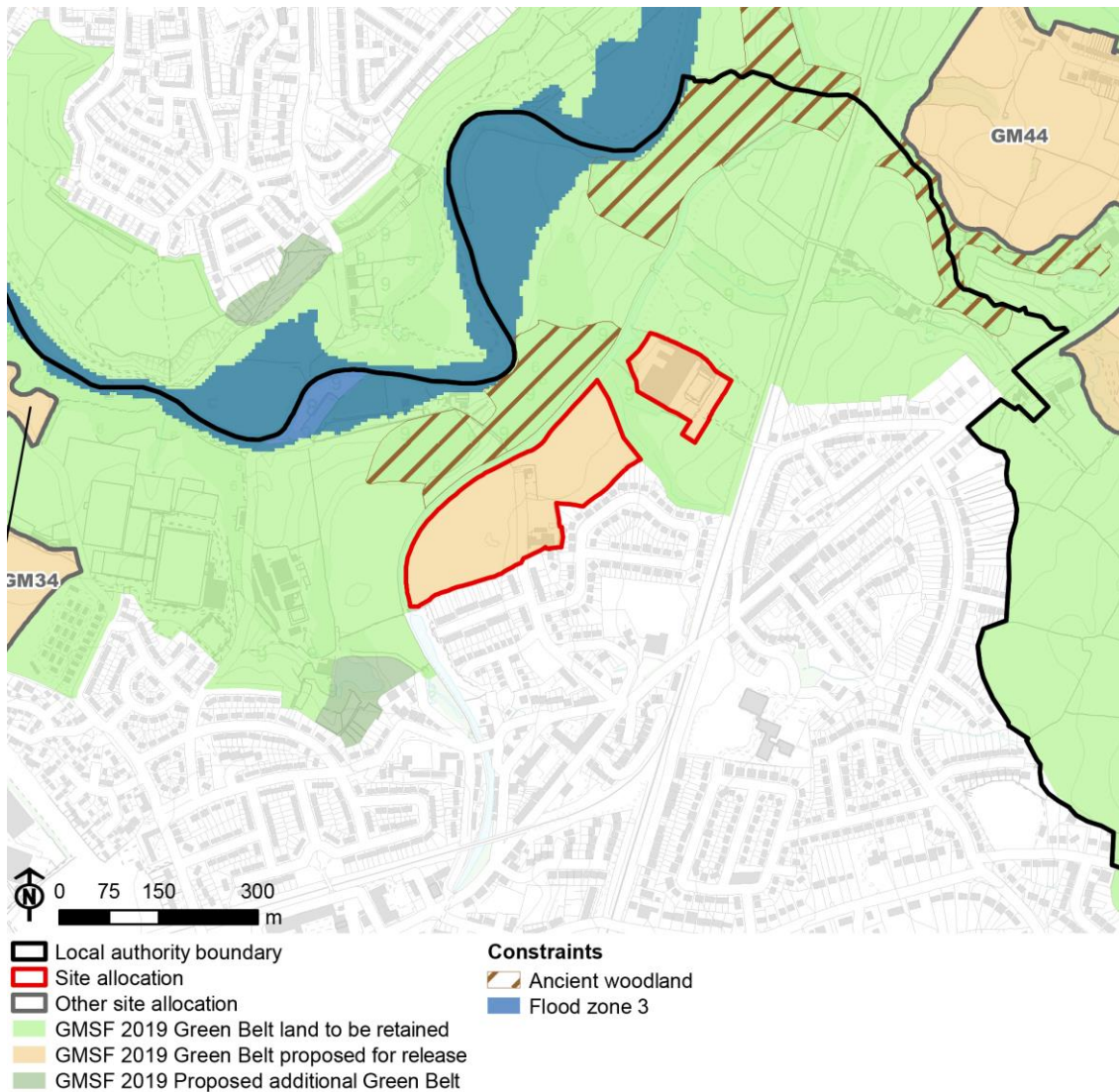
Releasing this land would not increase the containment of any retained Green Belt land. The release would also result in a distinct and consistent boundary between the inset settlement of Offerton and the surrounding Green Belt, defined by the belt of ancient woodland at Offerton Wood and the River Goyt Valley beyond to the east.

Overall harm to Green Belt purposes from release of land

Low

Release of the Allocation would constitute relatively limited sprawl and would constitute a negligible weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as low.

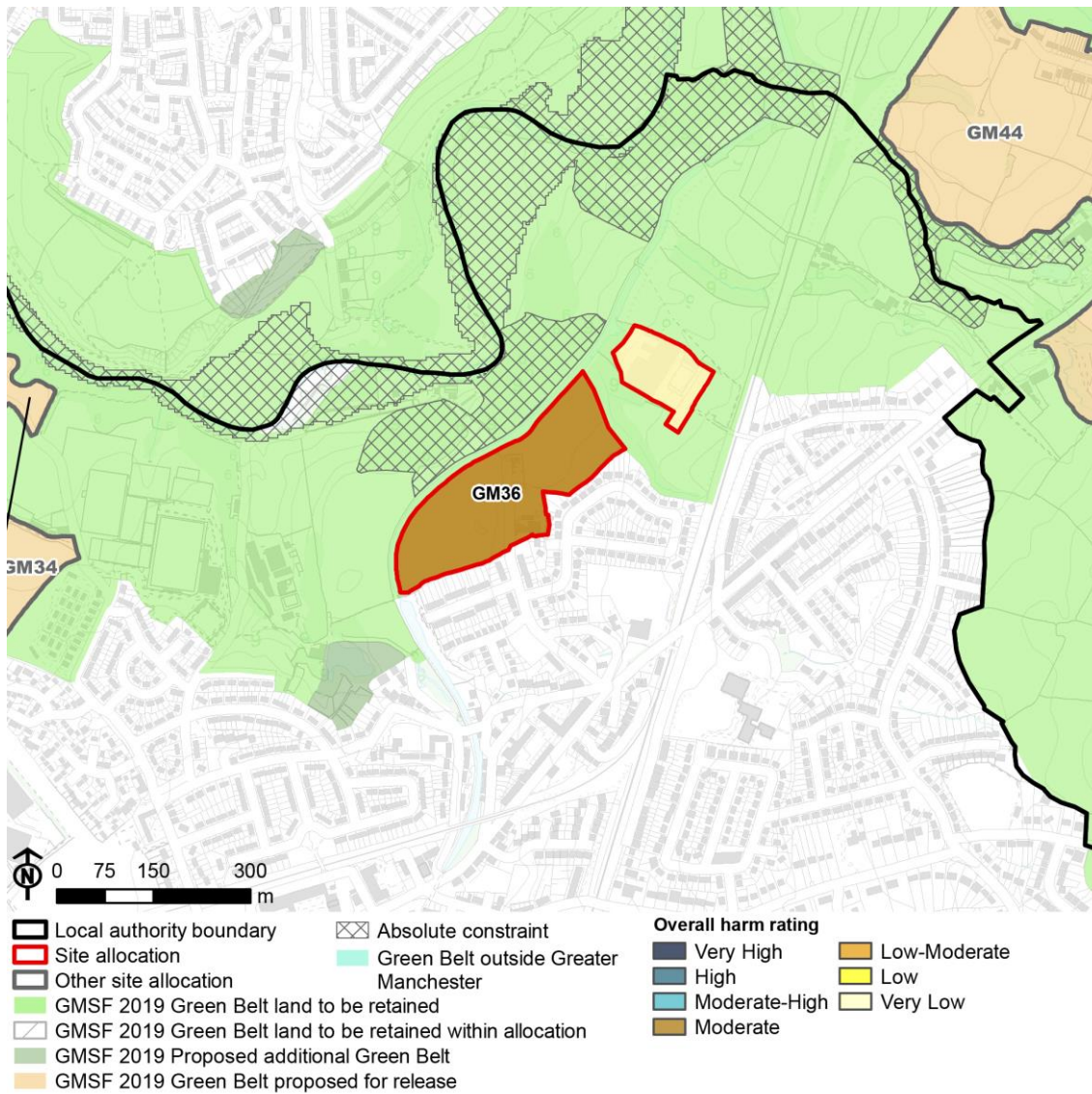
GM36 - Gravel Bank Road / Unity Mill



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Land lying between Woodley/Denton and the Peak Forest Canal, along with the (separate) site of the former Unity Mill, within the Metropolitan Borough of Stockport.

GM36



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GM36

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate | 4.8 |
| Very Low | 1.3 |
| Total Allocation area | 6.1 |

The Allocation comprises of two parcels of land. The northern parcel of land is wholly developed, occupied by the former Unity Mill, and therefore makes no contribution to Green Belt purposes. As such, it can be released from the Green Belt with very low harm.

The remainder of the Allocation comprises of open fields and a cluster of dwellings. The surrounding urban edge creates little sense of urbanising containment within the Allocation, but the Allocation lacks distinction from the urban edge. As such, the land makes a relatively significant contribution to checking the sprawl of Greater Manchester, a moderate contribution to preventing encroachment on the countryside, and a moderate contribution to maintaining the separation of Woodley and Denton.





Release of this land would not weaken the Green Belt boundary, creating a revised Green Belt boundary defined strongly and consistently by the Peak Forest Canal, and this together with the River Tame and adjacent belts of ancient woodland would negate the reduction in distance between the neighbouring settlements of Woodley and Denton. Release of the Allocation would therefore constitute moderate harm to Green Belt purposes.

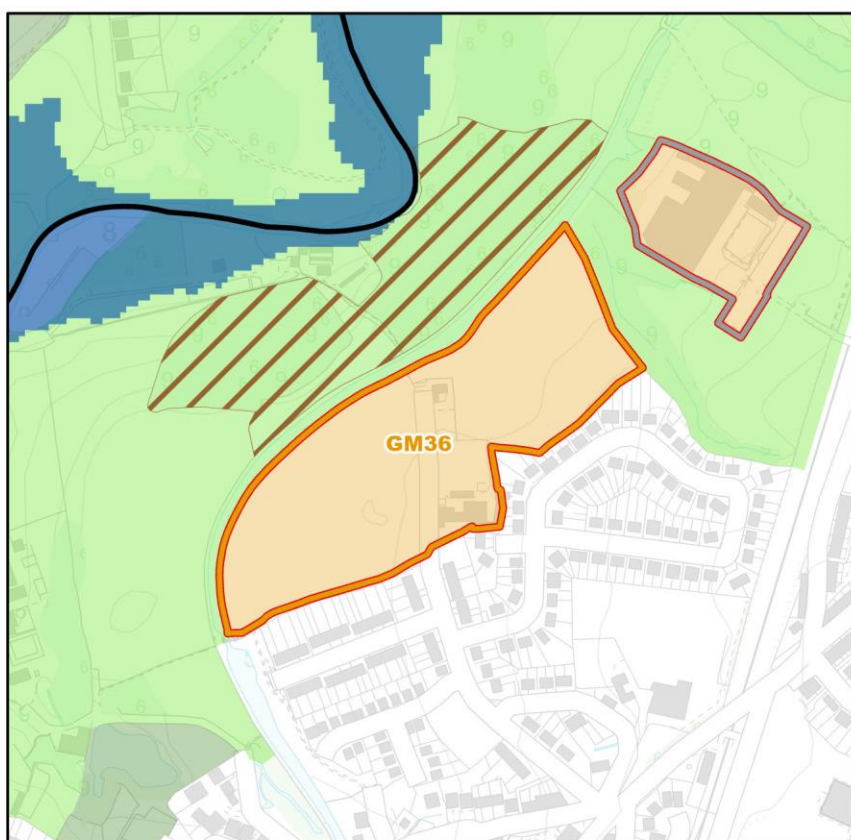
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM36



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Ancient woodland
-  Flood zone 3



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Area Description

Gently sloping fields and cluster of dwellings lying between Woodley and Denton. Urbanising development is limited to a cluster of dwellings in the centre of the Allocation and does not significantly diminish openness, and the Allocation is not significantly contained by the inset edge. Residential garden boundaries on the inset edge do not create any significant distinction from the adjacent urban edge, and have already been breached by some development within the Allocation. The outer boundary with adjacent retained Green Belt land is largely strongly defined by the Peak Forest Canal and belt of ancient woodland (Wood Mill Wood) beyond, with tree cover providing further distinction to the north east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Woodley is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. However the weak distinction on the existing urban edge limits to an extent its role in acting in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

The release of land here would reduce a gap between the towns of Woodley and Denton that is narrow, but where the Peak Forest Canal and adjacent protected woodland belt of Wood Mill Wood would remain as a significant separating feature, limiting the merging effect to an extent. The Allocation is also peripheral to the gap between Woodley and Hyde, as the existing settlement edge of Woodley extends closer to Hyde than the Allocation, limiting this land's role in preserving the gap.

GM36

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing this Allocation would encroach on land which is associated with the proximity of the urban area to a degree due to the lack of distinction on the urban edge, but which slopes down toward the canal and is in significant parts open in character.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM36

Impact on adjacent Green Belt

Rating: No/Negligible

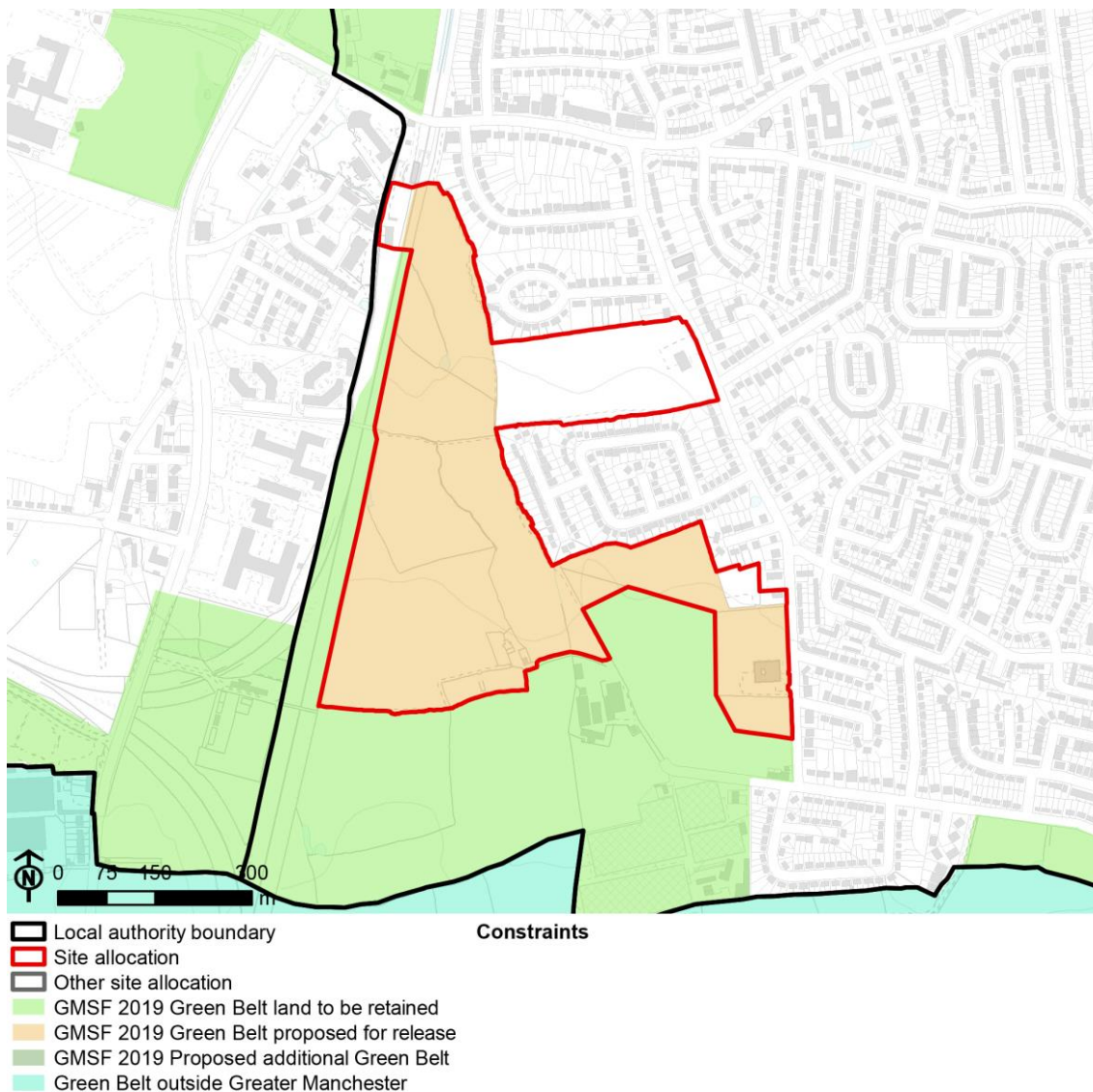
Releasing this land, as part of the release of the Allocation as a whole, would narrow the settlement gap between Woodley and Denton, but the Peak Forest Canal, River Tame and intervening belt of ancient woodland mean that there would be negligible impact on perceived separation. The revised Green Belt boundary would be strongly defined by the Peak Forest Canal.

Overall harm to Green Belt purposes from release of land

Moderate

Release of this land, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl, moderate encroachment on the countryside and a moderate impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as moderate.

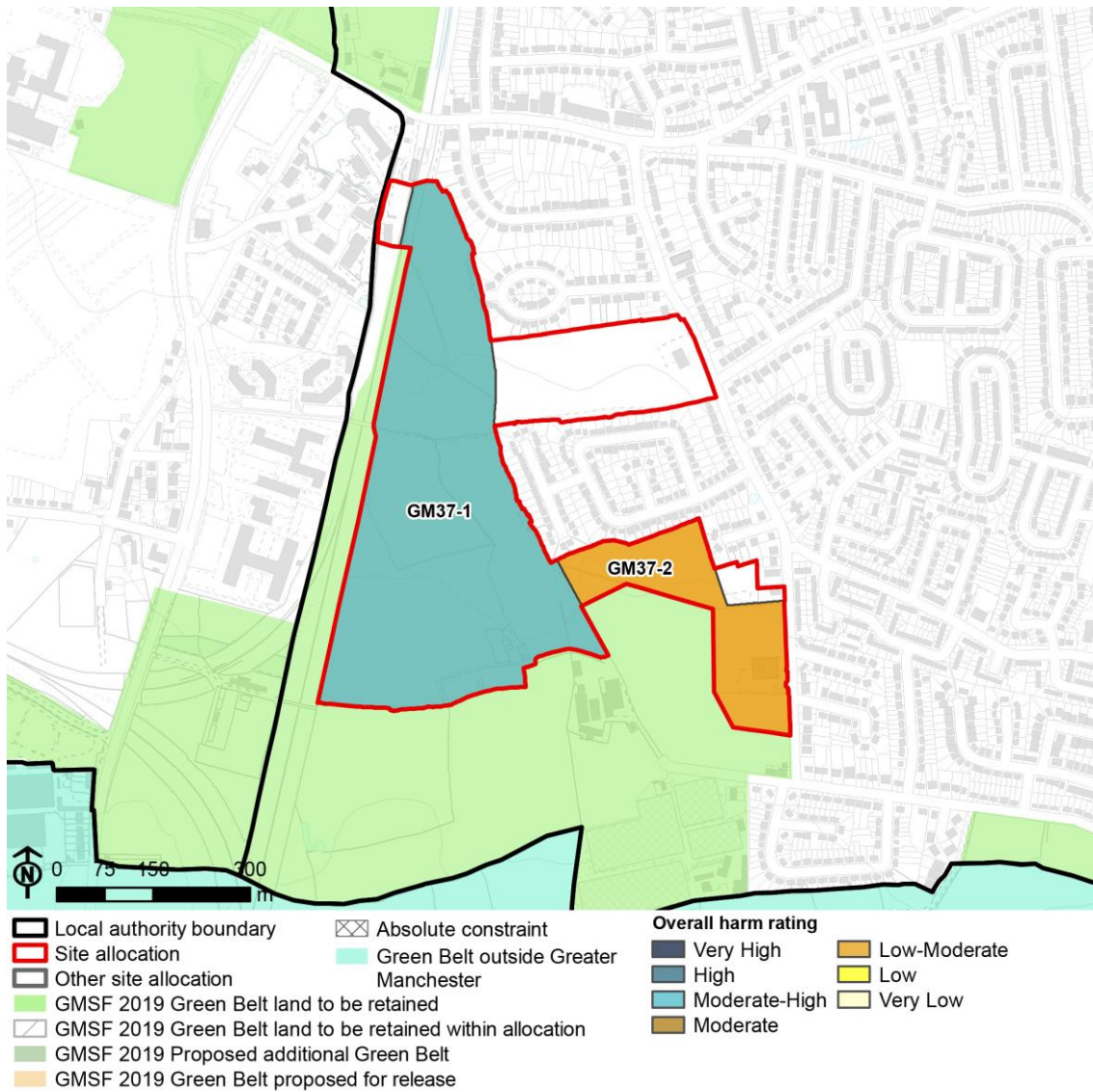
GM37 - Heald Green



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Farmland lying in the gap between Heald Green and Moss Nook, within the Metropolitan Borough of Stockport.

GM37



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GM37

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate-High | 17.8 |
| Low-Moderate | 4.3 |
| Total Allocation area | 27.3 |

Green Belt land within GM37 is split into two sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation comprises predominantly of open farmland, as well as Bolshaw Primary School and associated playing fields in the southeast, but the adjacent settlement edges create a sense of urbanising containment and the land lacks distinction from the urban edge. As such, land within the majority of the Allocation makes a relatively significant contribution to maintaining the separation of Heald Green and Wythenshawe, and a moderate contribution to checking the sprawl of Greater Manchester and preventing encroachment on the countryside, with land in the southeast making a lesser contribution. Release of the Allocation would result in a weaker Green Belt boundary, would further merge the settlements of Heald Green and Wythenshawe, and would further reduce the connectivity of retained Green Belt land to the north (which plays an important role in the separation of Heald Green and Wythenshawe) with the wider Green Belt. Release of the Allocation would constitute moderate-high harm to Green Belt purposes.

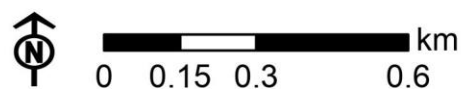
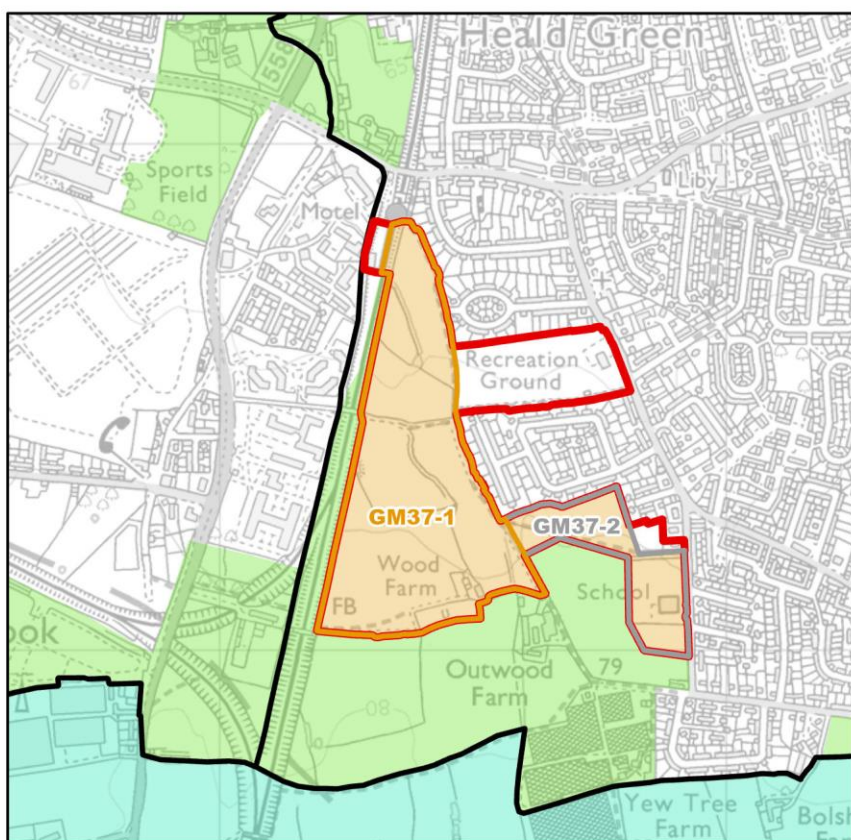
Potential to mitigate harm

Strengthening the boundary between the Allocation and retained Green Belt land to the south could potentially increase the future distinction between inset land and retained Green Belt land. This could help to limit the weakening of the Green Belt boundary and the weakening of this retained land.

GM37-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Green Belt outside Greater Manchester



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GM37-1

Area Description

Triangle of farmland forming the gap between Heald Green (Stockport) and Moss Nook (Manchester). The sub-area comprises of pastoral fields and has no urbanising development to diminish openness, but is significantly contained by the settlement edge to the east and west. The inset edge to the east is defined by residential garden boundaries and tree-lined hedgerows and provides only weak distinction from urbanising uses, increasing the sense of association with urbanising uses within the settlement. The outer boundary with adjacent retained Green Belt land to the south is defined by a field boundary.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Heald Green is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. However the sub-area's significant containment and weak distinction from the urban edge to the east limit its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would remove the gap between the towns of Heald Green and Wythenshawe, which although to a degree are linked by the railway bridge on Finney Lane, are largely distinct, separated by Green Belt and by Gatley Brook to the north.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

This release would encroach on land which is free of urbanising development, however the extent of its containment and lack of distinction from the urban edge weakens its relationship with adjacent open countryside to the south.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM37-1

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM37-1

Impact on adjacent Green Belt

Rating: Moderate

Releasing this sub-area, as part of the release of the Allocation as a whole, would result in a more consistent revised Green Belt boundary, however it would be defined only weakly to the south by a field boundary. In addition, due to the extent of its own containment, releasing this sub-area, as part of the release of the Allocation as a whole, would not increase the containment of open retained Green Belt land to the south, however it would further reduce the connectivity of retained Green Belt land to the north (which plays an important role in the separation of Heald Green and Wythenshawe) with the wider Green Belt.









Overall harm to Green Belt purposes from release of land

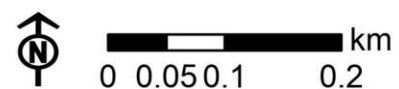
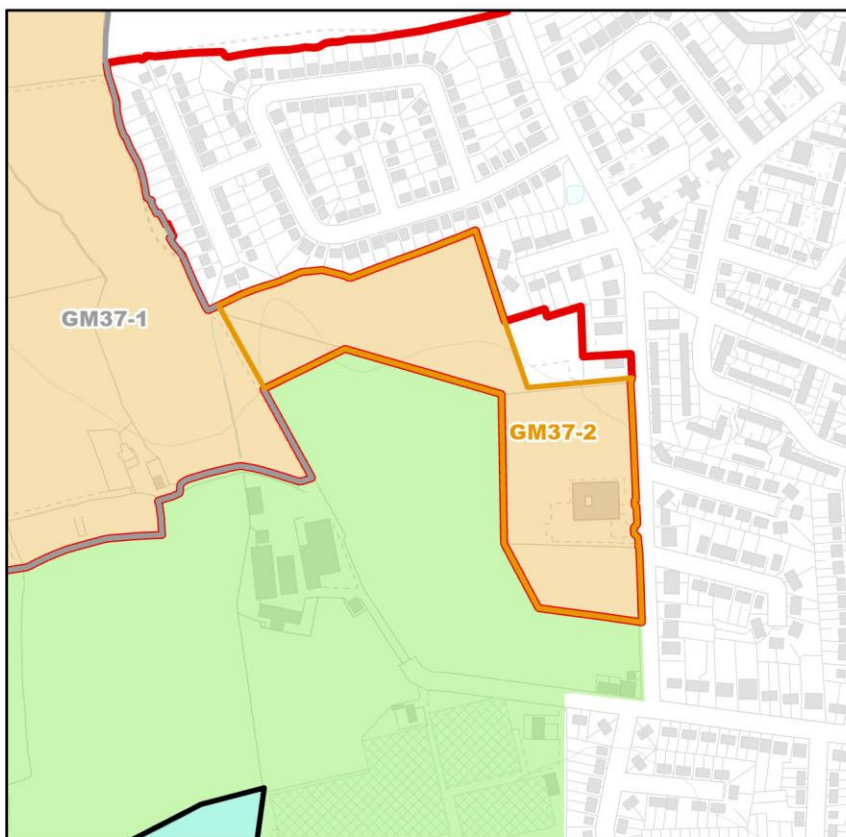
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute a relatively significant impact on preventing the merger of towns, and moderate sprawl and encroachment on the countryside. It would constitute a moderate weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM37-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Green Belt outside Greater Manchester



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GM37-2

Area Description

Buildings of Bolshaw Primary School and associated playing fields, lying between the settlement edge of Heald Green and a large complex of glass houses on the edge of the settlement. Urbanising influences are limited to the buildings and hard standing associated with Bolshaw Primary School, and the land retains sufficient open space for there to be a relationship with adjacent open land. The surrounding inset edge to the north, east and south creates a degree of urbanising containment. Residential garden boundaries and minor roads in the north and east of the sub-area do not provide strong distinction from the urbanising influences of Heald Green, limiting the relationship with the open countryside. The outer boundary with adjacent retained Green Belt land is marked by the edge of the glass house complex and by field boundaries.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

Heald Green is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. However the slightly compromised openness and the weak distinction on the urban edge limit its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The sub-area does lie between the towns of Heald Green and Wythenshawe but is more closely related to the former. Given the degree of containment of this land by the settlement edge, releasing this land would not imply a significant projection of the urban edge and other Green Belt land further west plays a stronger role in maintaining separation.

GM37-2

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

Releasing this sub-area would encroach on land which, while it has areas that are open in character, is strongly associated with the settlement edge and weakly distinguished from it. The glass house complex to the south, while an appropriate use in Green Belt terms, also impacts openness and further limits the relationship with wider Green Belt land to the south and west.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM37-2

Impact on adjacent Green Belt

Rating: No/negligible

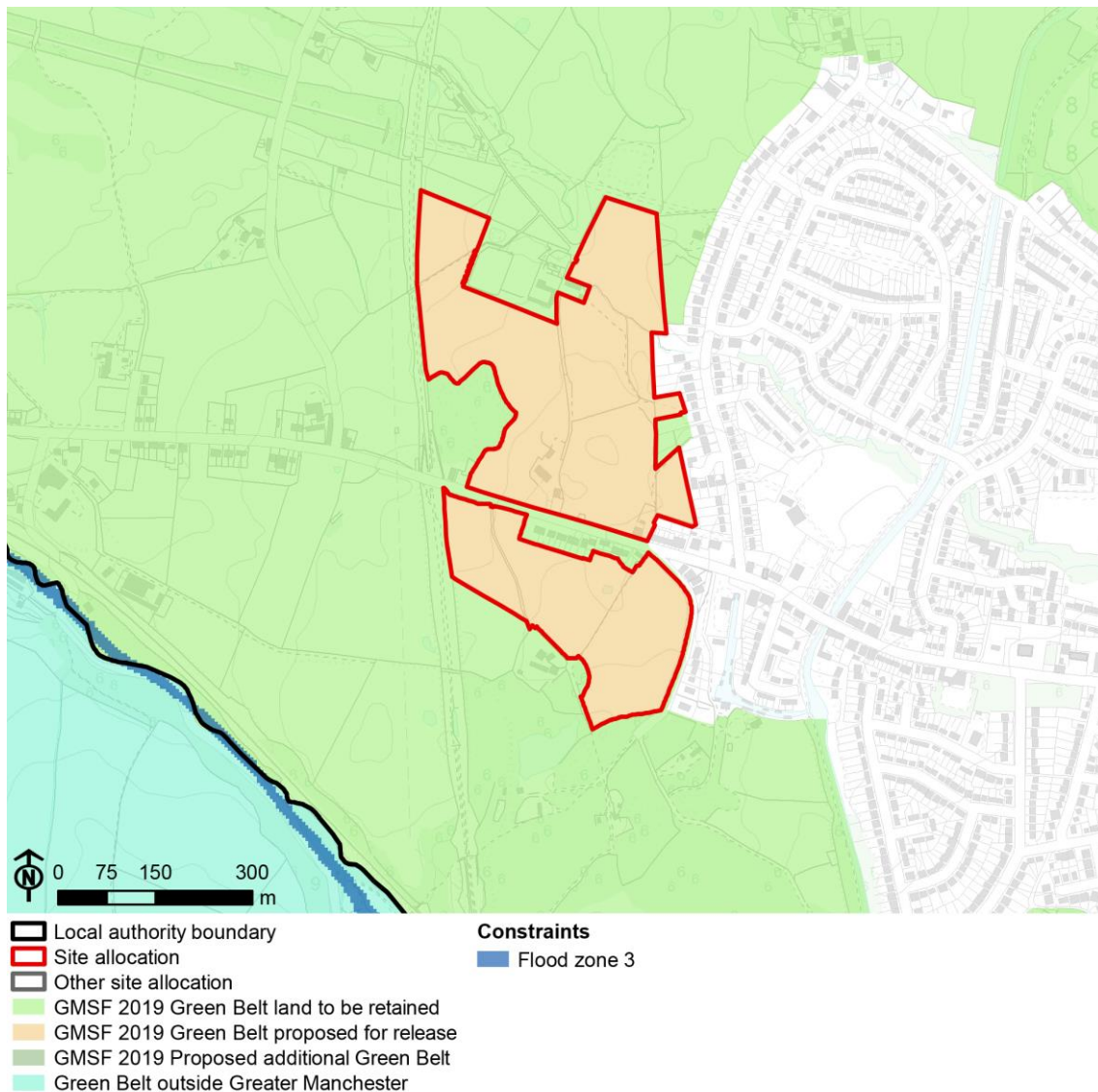
Due to the extent of its own containment, releasing this sub-area, as part of the release of the Allocation as a whole, would not significantly increase the containment of any retained Green Belt land. The resulting urban edge would be defined by hedgerows rather than residential garden boundaries, resulting in no significant change in the strength of distinction between the inset settlement and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

Low-Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively limited sprawl and encroachment on the countryside. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as low-moderate.

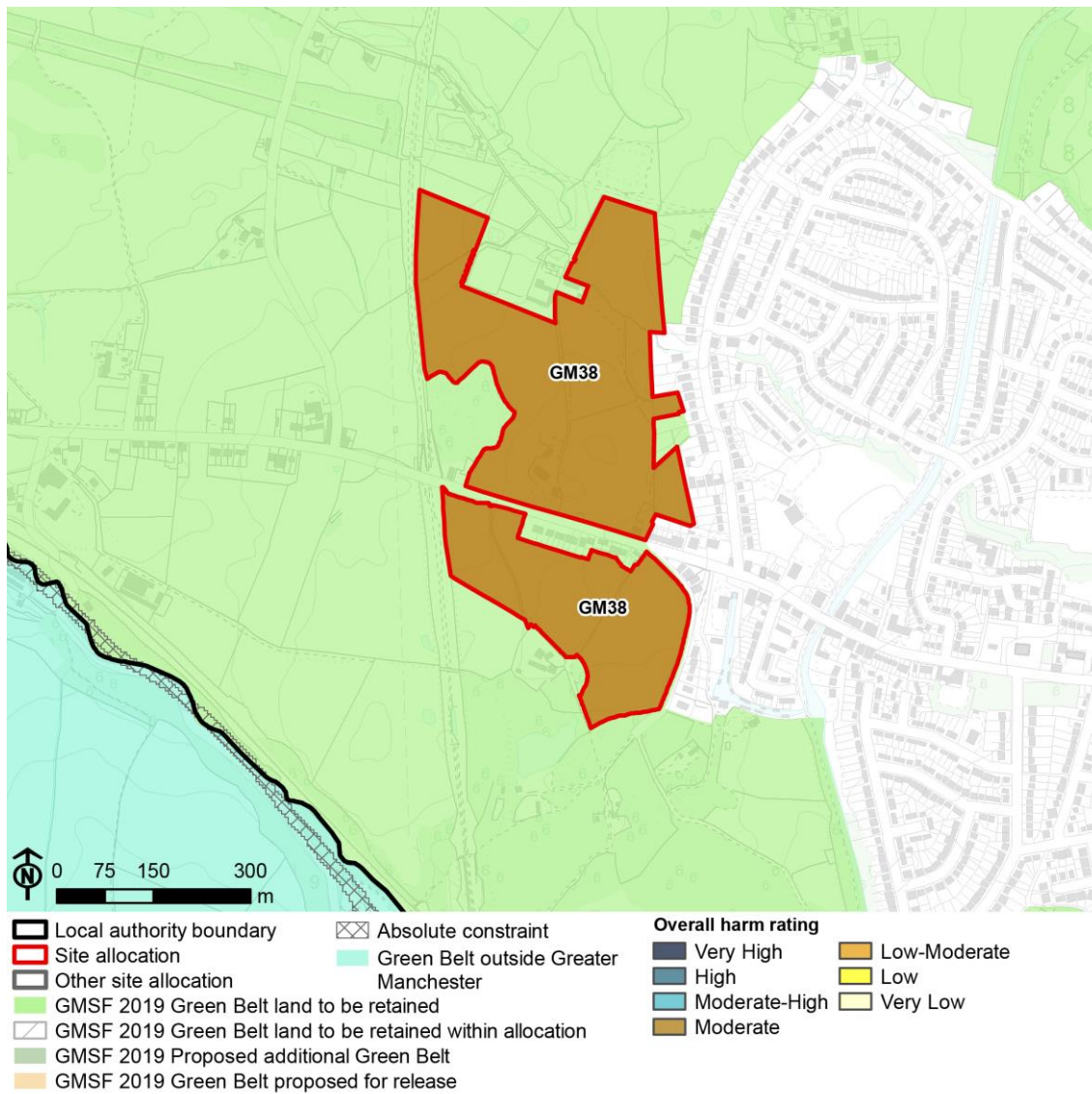
GM38 - High Lane



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Two distinct areas of farmland either side of the A6 Buxton Road, west of High Lane, within the Metropolitan Borough of Stockport.

GM38



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Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate | 19.9 |
| Total Allocation area | 19.9 |

The Allocation comprises of two parcels of open farmland. A minor road (Middlewood Road) and residential garden boundaries provide only very limited distinction from the adjacent urban edge, whilst the urban edge and washed-over linear housing along the A6 create a degree of urbanising containment. As such, the Allocation makes a relatively significant contribution to protecting the countryside from encroachment, a moderate contribution to maintaining the separation of High Lane and Hazel Grove, and a relatively limited contribution to checking the sprawl of Greater Manchester.

Release of the Allocation would not weaken the Green Belt boundary. In addition, although release would increase the containment of a small contained area of retained Green Belt land to the east and a small area of retained Green Belt land along the A6 containing linear housing development, these areas of retained Green Belt land make minimal contribution to Green Belt purposes and as such their containment would not increase harm, and there would be little justification in retaining their Green Belt status. Release of the Allocation would therefore constitute moderate harm to Green Belt purposes.

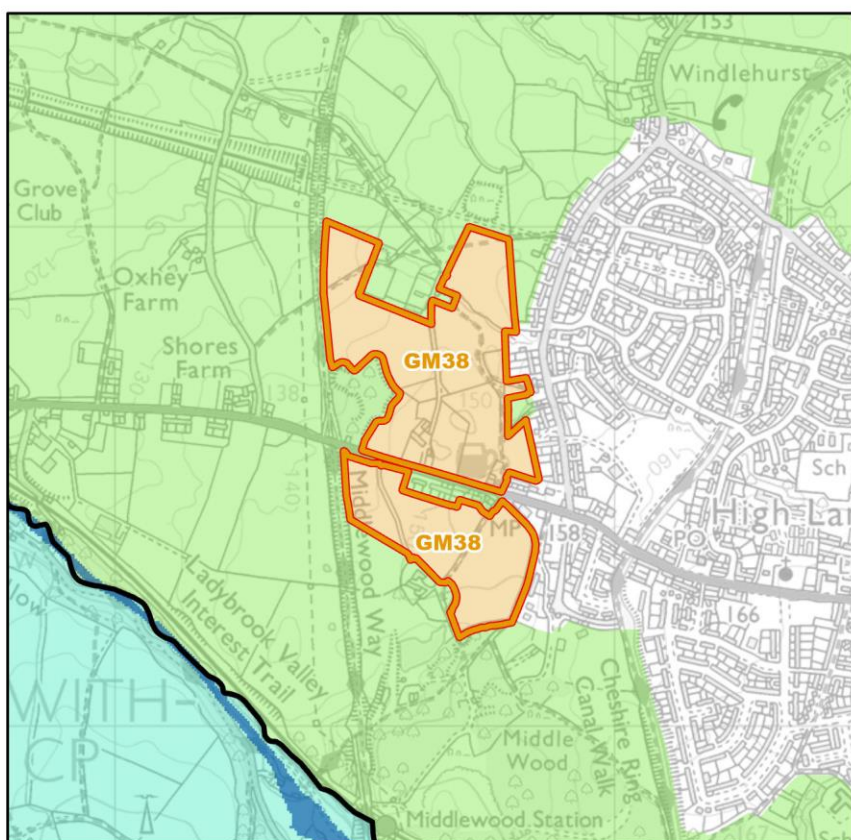
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation. Nevertheless, strengthening the boundary between the Allocation and adjoining retained Green Belt land could potentially increase the future distinction between inset land and retained Green Belt land. This could help to limit the weakening of this retained Green Belt land as result of the release of the Allocation.

GM38



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Green Belt outside Greater Manchester
- Flood zone 3



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Area Description

Two distinct areas of farmland lying either side of the A6 Buxton Road, on the western edge of the settlement of High Lane, containing a single pub and small cluster of farm buildings. The land gently slopes down to the disused railway line to the west. The Allocation contains no significant urbanising development to diminish openness but some areas have a degree of containment by the surrounding settlement edge and the washed over linear housing along the A6. A minor road (Middlewood Road) and residential garden boundaries provide only very limited distinction from the adjacent urban edge. The outer boundary with adjacent retained Green Belt land is defined to the west by a disused railway line (Middlewood Way), to the south by the tree cover of Middle Wood, and to the north predominantly by field boundaries.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

High Lane is not part of the large built-up area of Greater Manchester, but close enough to it to have a relationship. Releasing this land, which is open, would weaken its separation from the large built-up area at Hazel Grove.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would reduce the gap between the towns of High Lane and Hazel Grove that is relatively narrow (circa 1.5km), but where the disused railway line (Middlewood Way) would remain as a separating feature.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this Allocation would encroach on land which, due to the absence of urbanising development and only minimal containment, is perceived as countryside.

GM38

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

Impact on adjacent Green Belt

Rating: No/negligible

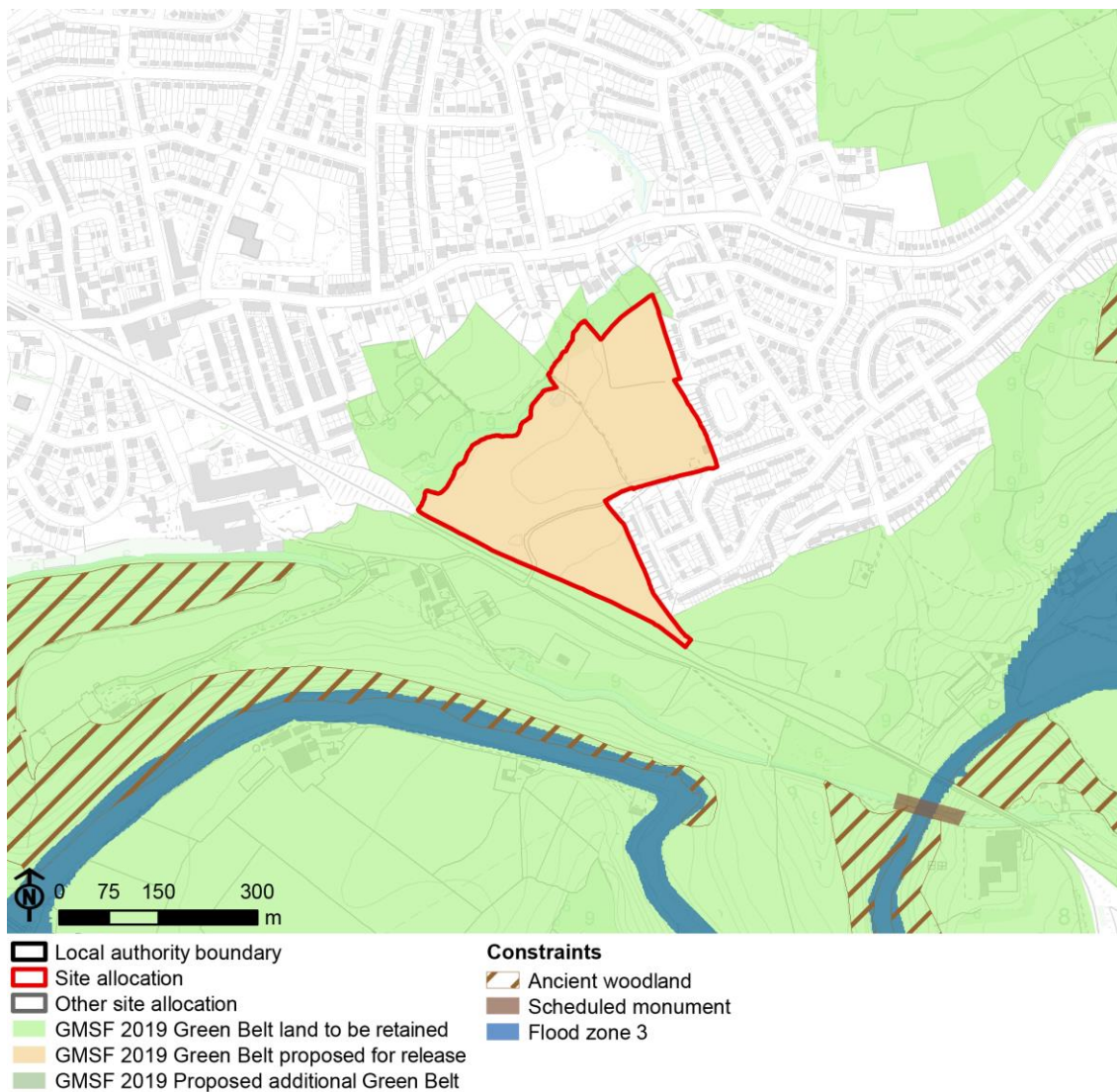
Releasing this land would increase the containment of a small contained area of retained Green Belt land to the east and a small area of retained Green Belt land along the A6 containing linear housing development. However, the areas of retained Green Belt land make minimal contribution to Green Belt purposes and as such their containment would not increase harm, and there would be little justification in retaining their Green Belt status. The release would result in a distinct and consistent boundary between the inset settlement of High Lane and retained Green Belt land, both along a small stretch of the Middlewood Way disused railway line on the western boundary, and by an extensive woodland block lying on the southern boundary.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the Allocation would constitute relatively significant encroachment on the countryside, a moderate impact on preventing the merger of towns and relatively limited sprawl. It would constitute a negligible weakening of retained Green Belt land. The harm from the release of the Allocation is therefore assessed as moderate.

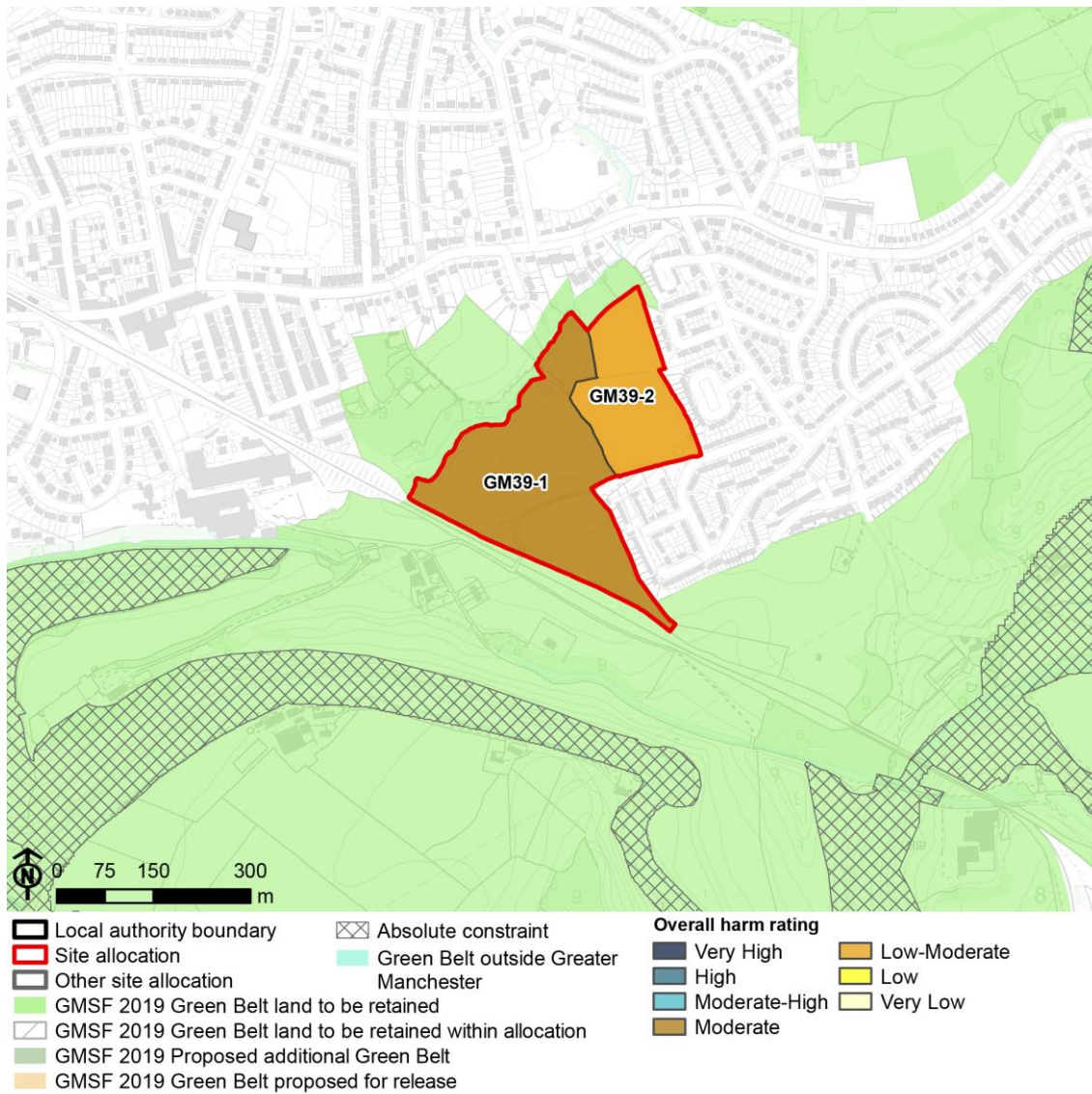
GM39 - Hyde Bank Meadows



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Hyde Bank Meadows, lying to the west of the Cherry Tree Estate in Romiley, within the Metropolitan Borough of Stockport.

GM39



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GM39

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate | 7 |
| Low-Moderate | 3.2 |
| Total Allocation area | 10.2 |

GM39 is split into two sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation comprises of open fields and Tangshutt Fields Recreation Ground. The surrounding urban edge creates a degree of urbanising containment and the land within the Allocation lacks distinction from the urban edge. As such, the Allocation makes a moderate contribution to checking the sprawl of Greater Manchester and preventing encroachment on the countryside.

Release of the Allocation would increase containment of retained Green Belt land to the west, but as this does not contribute more towards the Green Belt purposes its containment would not increase the harm of release. Releasing this land would result in a consistent and distinct revised boundary between the inset settlement and retained Green Belt land, which would now be bound by the sunken railway on its southern edge.


As the railway is not a strong visual barrier and the narrow band of open retained Green Belt land beyond this to the south is tightly bound by woodland, which creates separation from the wider Green Belt, release of the Allocation would weaken this land. Release of the Allocation would constitute moderate harm to Green Belt purposes.

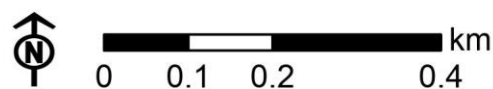
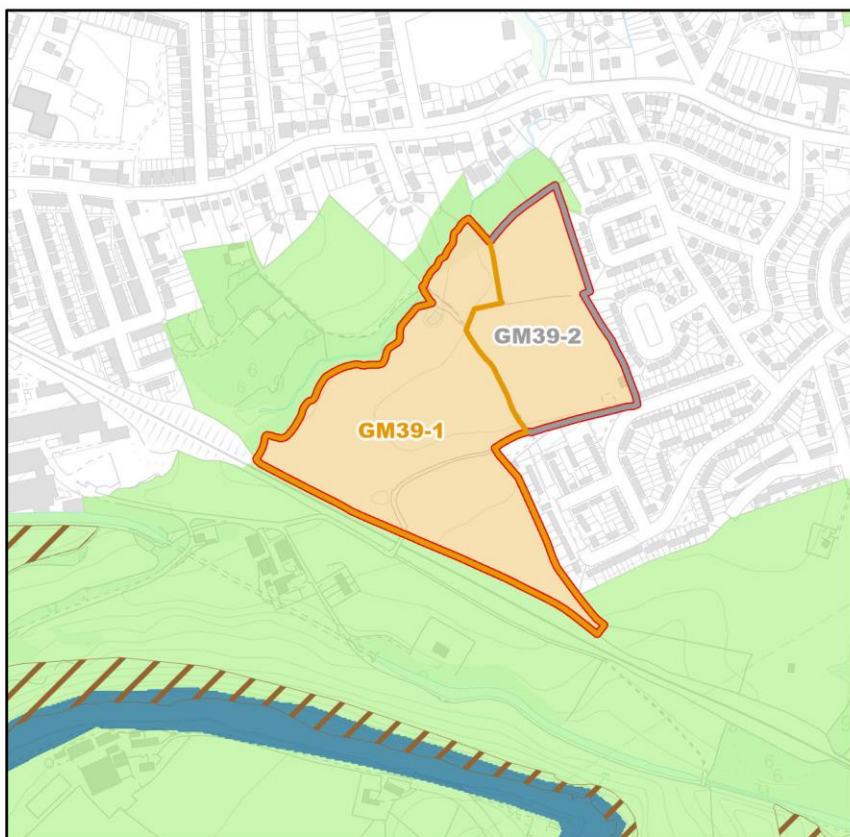
Potential to mitigate harm

Strengthening the boundary between the Allocation and retained Green Belt land to the south, such as by woodland planting to provide visual screening, could potentially increase the future distinction between inset land and retained Green Belt land. This could help to limit the weakening of the retained Green Belt land to the south.

GM39-1



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Ancient woodland
-  Flood zone 3



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GM39-1

Area Description

Gently sloping fields lying between Tangshutt Fields recreation ground and the railway line, on the western edge of Romiley. The sub-area contains no urbanising development to diminish openness, however the surrounding settlement edge of Romiley creates a degree of urban containment. Field boundaries provide minimal distinction from the adjacent urban edge. The outer boundary with adjacent retained Green Belt land is strongly defined to the west by a (partly sunken) railway line, with only a very small stretch more weakly defined by a footpath, and is strongly defined to the north by a

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Romiley is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is open, however field boundaries on the eastern boundary provide weak distinction, limiting the sub-area's role in combatting sprawl in this area.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The sub-area does lie between the towns of Romiley and Marple but, thanks to its degree of containment and the railway lying strongly defining its western boundary, is more closely related to the former. Other Green Belt land plays a stronger role in maintaining separation, including notably the strong barrier provided by the steep wooded River Goyt valley.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing this sub-area would encroach on land which is free of urbanising influences, but where a sense of containment and lack of distinction on the urban edge limit to an extent its relationship with adjacent open countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM39-1

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM39-1

Impact on adjacent Green Belt

Rating: Minor

The release of the sub-area, as part of the release of the Allocation as a whole, would result in the total containment of the allotments and grassed area to the north, which are proposed to be retained within the Green Belt. However, both of these contribute less toward Green Belt purposes due to their own containment, and as such their containment would not increase the harm of release. Releasing this land would result in a consistent and distinct revised boundary between the inset settlement and retained Green Belt land, which would now be bound by woodland to the north and the sunken railway on its south-western extent. However, as the railway is not a strong visual barrier and the narrow band of open retained Green Belt land beyond this to the south is tightly bound by woodland, which creates separation from the wider Green Belt, release of the sub-area, as part of the release of the Allocation as a whole, would weaken this land.

Overall harm to Green Belt purposes from release of land

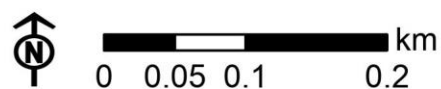
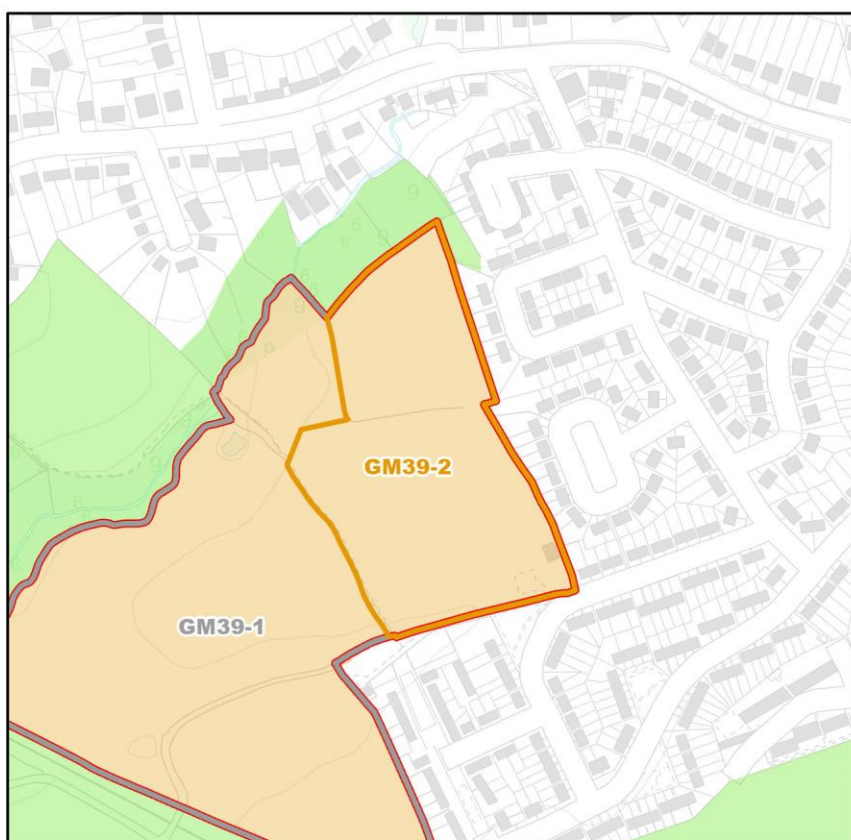
Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside, and a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

GM39-2



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt



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GM39-2

Area Description

Tangshutt Fields Recreation Ground, surrounded on three sides by the inset edge of Romiley. The sub-area contains no urbanising development to diminish openness, however it is contained to a significant degree by the surrounding settlement edge. Woodland provides distinction between the sub-area and the inset settlement edge and retained Green Belt land to the north. However, residential garden boundaries provide minimal distinction from the adjacent urban edge to the east and south, and the outer boundary with the adjoining sub-area to the west is also defined weakly by field boundaries.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Romiley is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is open and the woodland belt to the north acts in preventing sprawl, but the residential garden boundaries to the east provide weaker distinction and limit the sub-area's role in preventing sprawl in this area.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The sub-area does lie between the towns of Romiley and Marple but, thanks to its degree of urbanising containment and the railway lying on its western boundary, is more closely related to the former. Other Green Belt land plays a stronger role in maintaining separation, including notably the strong barrier provided by the steep wooded River Goyt valley.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing this sub-area would encroach on land which is free of urbanising influences, but where the degree of containment by the urban edge of Romiley limits to an extent its relationship with adjacent open countryside.

GM39-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM39-2

Impact on adjacent Green Belt

Rating: No/Negligible

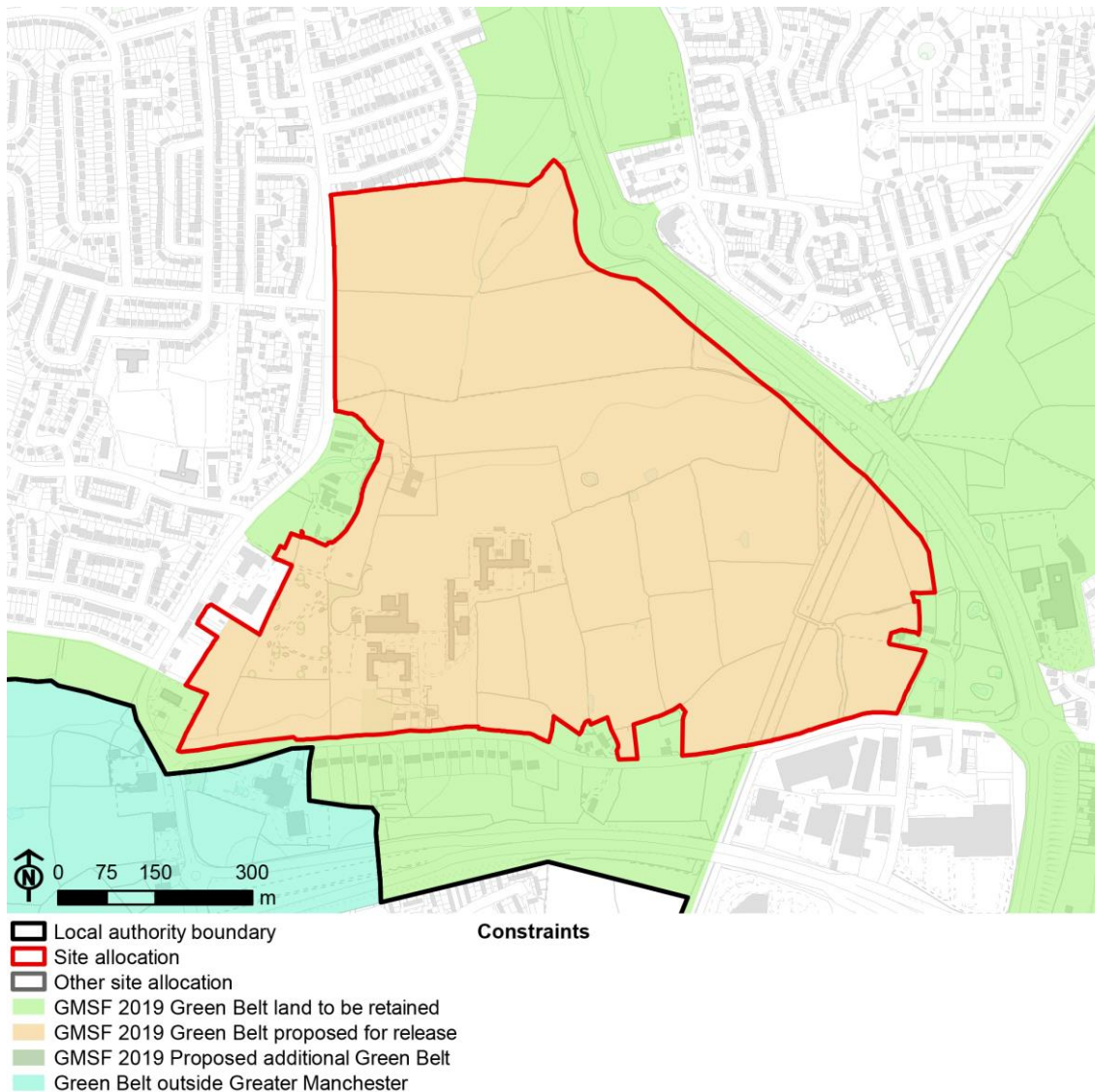
The release of the sub-area, as part of the release of the Allocation as a whole, would result in the containment of a narrow strip of retained Green Belt land to the north. However, this land contributes less towards Green Belt purposes, and as such its containment would not increase the harm of release. Due to the extent of its own containment, releasing this sub-area, as part of the release of the Allocation as a whole, would not increase the containment of any other retained Green Belt land. In addition, release would have no bearing on the strength of retained Green Belt land to the southwest, as the release of the Allocation as a whole would not weaken the distinction between inset settlement and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

Low-Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as low-moderate.

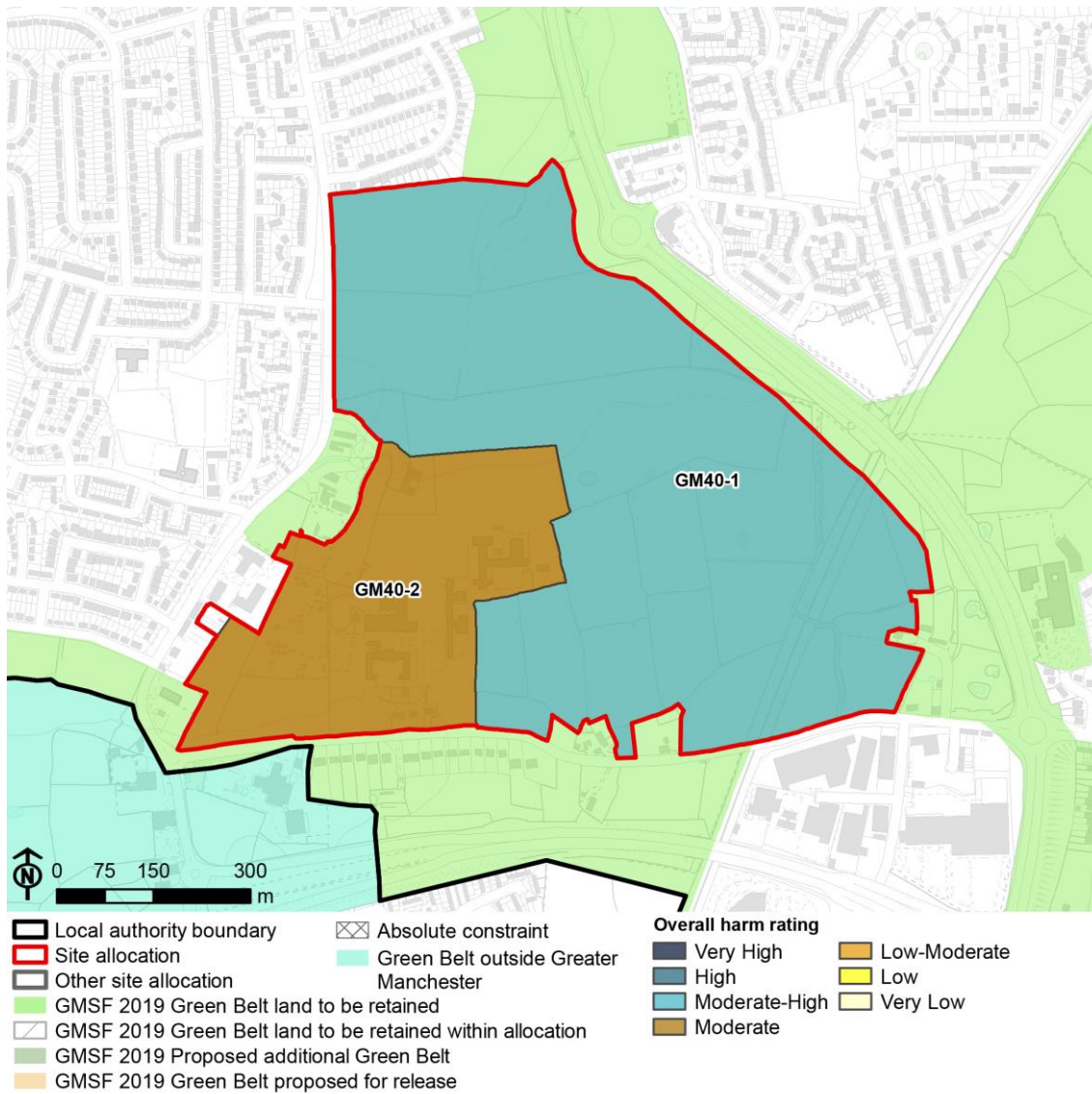
GM40 - Griffin Farm, Stanley Green



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Development including a disability services centre, assisted living, and the Royal College Manchester, and adjacent open fields lying between Heald Green, Handforth and Cheadle Hulme, within the Metropolitan Borough of Stockport.

GM40



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GM40

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate-High | 47.7 |
| Moderate | 16.9 |
| Total Allocation area | 64.7 |

GM40 is split into two sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation comprises of open farmland and buildings, facilities and hardstanding of the Seashell Trust educational complex in the southwest of the Allocation. Although the built development represents an urbanising influence, there is no built development to limit openness within the wider Allocation. However, across the Allocation as a whole there is significant containment from surrounding urban edges, and boundary distinction is weak. The majority of the Allocation makes a relatively significant contribution to maintaining separation between Heald Green, Cheadle Hulme and Handforth, but a moderate contribution to checking the sprawl of Greater Manchester and preventing encroachment on the countryside, with land in the southwest making a lesser contribution.

Release of the Allocation would not weaken the Green Belt boundary, and although it would reduce connectivity of the surrounding retained Green Belt land the fragmented nature of existing Green Belt in this area limits the harm that would be caused by the release.

Release of the Allocation would constitute moderate-high harm to Green Belt purposes.

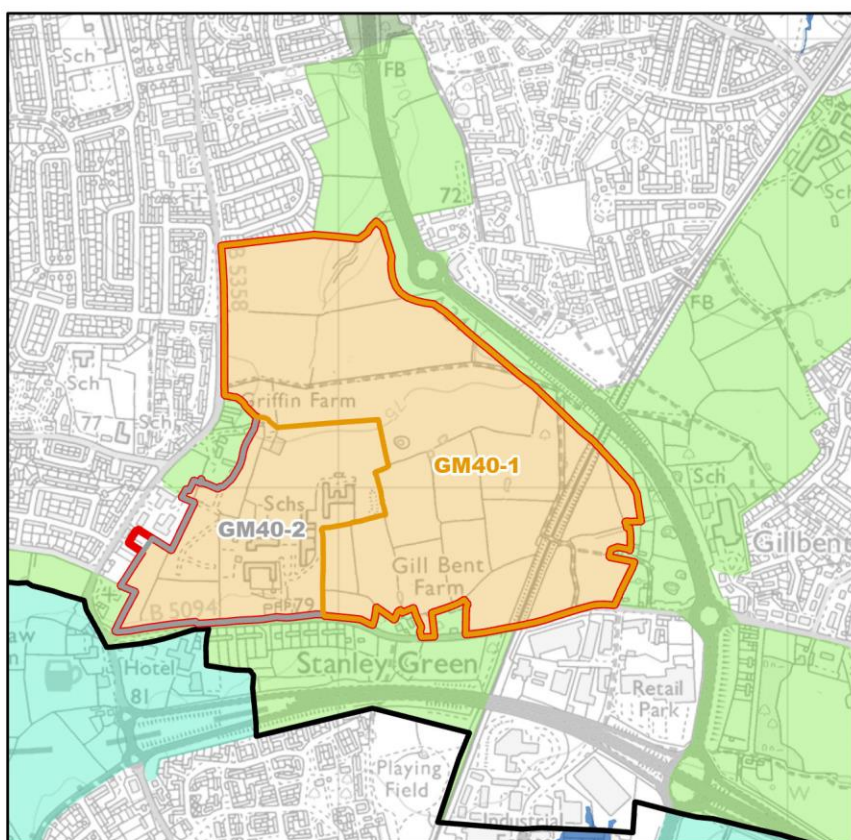
Potential to mitigate harm

Remaining land around the margins of the Allocation would make a limited contribution to the Green Belt purposes, so mitigation measures would have limited value in Green Belt terms.

GM40-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Green Belt outside Greater Manchester
- Flood zone 3



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GM40-1

Area Description

Relatively flat area of farmland lying between Heald Green and Cheadle Hulme, to the west of the Wilmslow-Handforth Bypass. The sub-area contains no significant urbanising development to diminish openness. It is contained to a significant degree by the surrounding settlement edges of Heald Green, Cheadle Hulme and Handforth (Cheshire), limiting its relationship with the wider countryside, however its scale limits that sense of containment. The Wilmslow Handforth Bypass provides strong distinction from the settlement edge of Cheadle Hulme, however in the north and west the distinction from Heald Green is weaker and defined by a combination of residential garden boundaries and a minor road (the B5358) which has already been widely breached by sprawl. The outer boundary with adjacent Green Belt land to the south is defined by Stanley Road, however the form of the Green Belt in this area is particularly fragmented. To the east, the Wilmslow Handforth Bypass also provides distinction from the adjoining retained Green Belt land.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Heald Green and Cheadle Hulme are both part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area itself is free of urbanising uses, however the extent of its containment limits its role in preventing sprawl, as does the lack of strong distinction on the urban edge to the west (Heald Green).

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would remove the gap between the towns of Heald Green, Cheadle Hulme and Handforth which, although to a degree linked by development to the north and along Wilmslow Road, are partially distinct.

GM40-1

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing this land would encroach on land which contains no urbanising influences within its boundaries, but where the extent of containment by the surrounding urban edge limits the relationship of this sub-area with the wider Green Belt and open countryside beyond.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Despite the proximity of a number of historic settlements, this land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM40-1

Impact on adjacent Green Belt

Rating: Minor

Release of the sub-area, as part of the release of the Allocation as a whole, would lead to the increased containment of some areas of retained Green Belt land to the north and east, however the latter do not make a stronger contribution to Green Belt purposes, which limits the harm caused by their containment. This release would also reduce the connectivity of the surrounding retained Green Belt land, however the fragmented nature of existing Green Belt in this area limits the role of this land, again limiting the harm caused by release. The release would result in no significant change in strength of distinction between the inset settlement and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

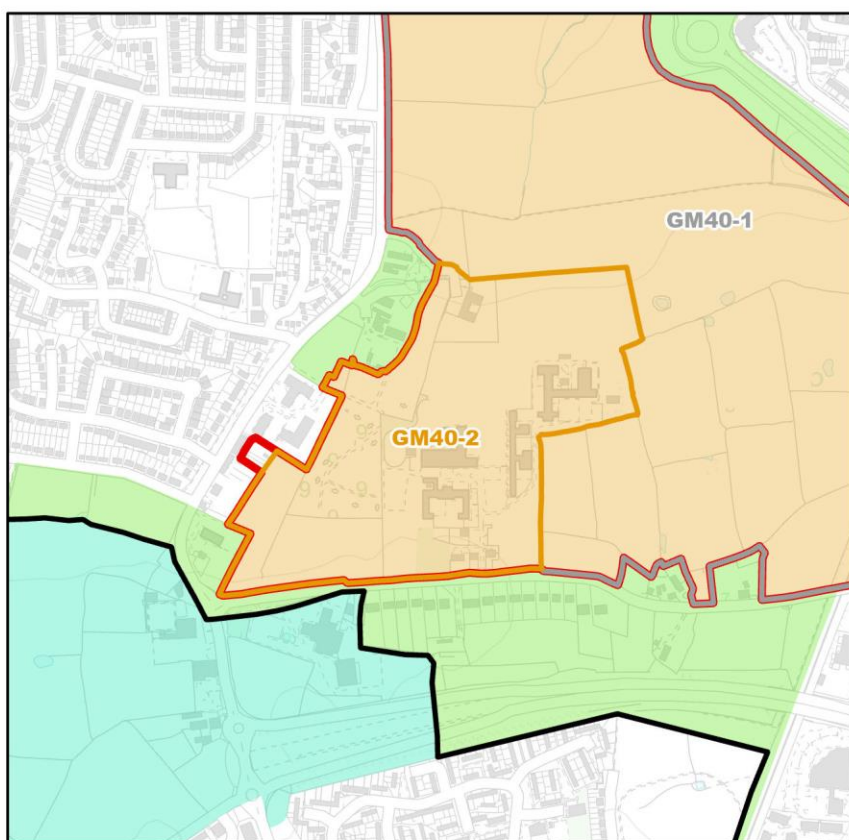
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute a relatively significant impact on preventing the merger of towns, and would constitute moderate sprawl and moderate encroachment on the countryside. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM40-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Green Belt outside Greater Manchester



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GM40-2

Area Description

Buildings, facilities and hardstanding of the Seashell Trust educational complex, adjacent to the eastern edge of Heald Green. The educational buildings represent an urbanising influence, however remaining areas of open land within the sub-area allow for some sense of openness. The land has a degree of urbanising containment by the urban edge of Heald Green and other surrounding settlements and, while tree cover provides distinction from the urban edge in some areas, elsewhere the urban edge is defined weakly by car park boundaries, where existing development spills over the inset edge. The outer boundary with retained Green Belt land is defined weakly by field boundaries.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

Heald Green is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. However the sub-area's compromised openness limits its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

Releasing this sub-area would reduce the gap between the towns of Heald Green, Cheadle Hulme and Handforth which, although to a degree linked by development to the north, are largely distinct. However the extent of existing development within the sub-area significantly limits its role in providing separation between towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

Despite some limited open areas, the extent of existing development within the sub-area limits the degree to which it can be considered open countryside.

GM40-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Despite the proximity of a number of historic settlements, this land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM40-2

Impact on adjacent Green Belt

Rating: Minor

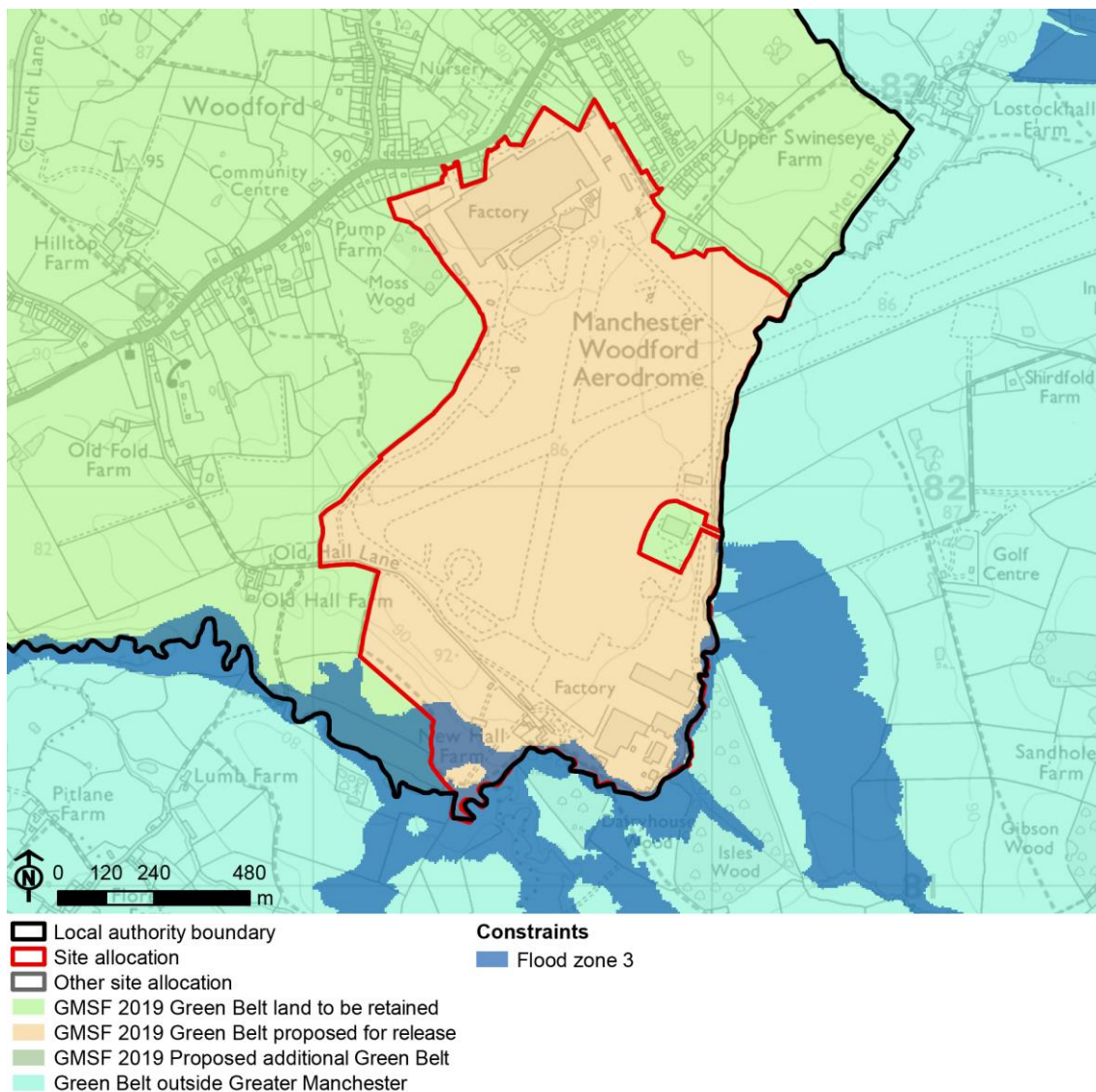
Releasing this sub-area, as part of the release of the Allocation as a whole, would lead to little significant difference in distinction between the inset edge and retained Green Belt land to the south. However, release would lead to the further containment of retained Green Belt land to the south. In addition, the outer boundaries of the sub-area to the north and east are weakly defined by field boundaries, which create little distinction from those parts of the Allocation area that adjoin the retained Green Belt to the north and east. Release of this sub-area as part of the release of the Allocation as a whole would, therefore, contribute to the increased containment of this retained Green Belt land.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

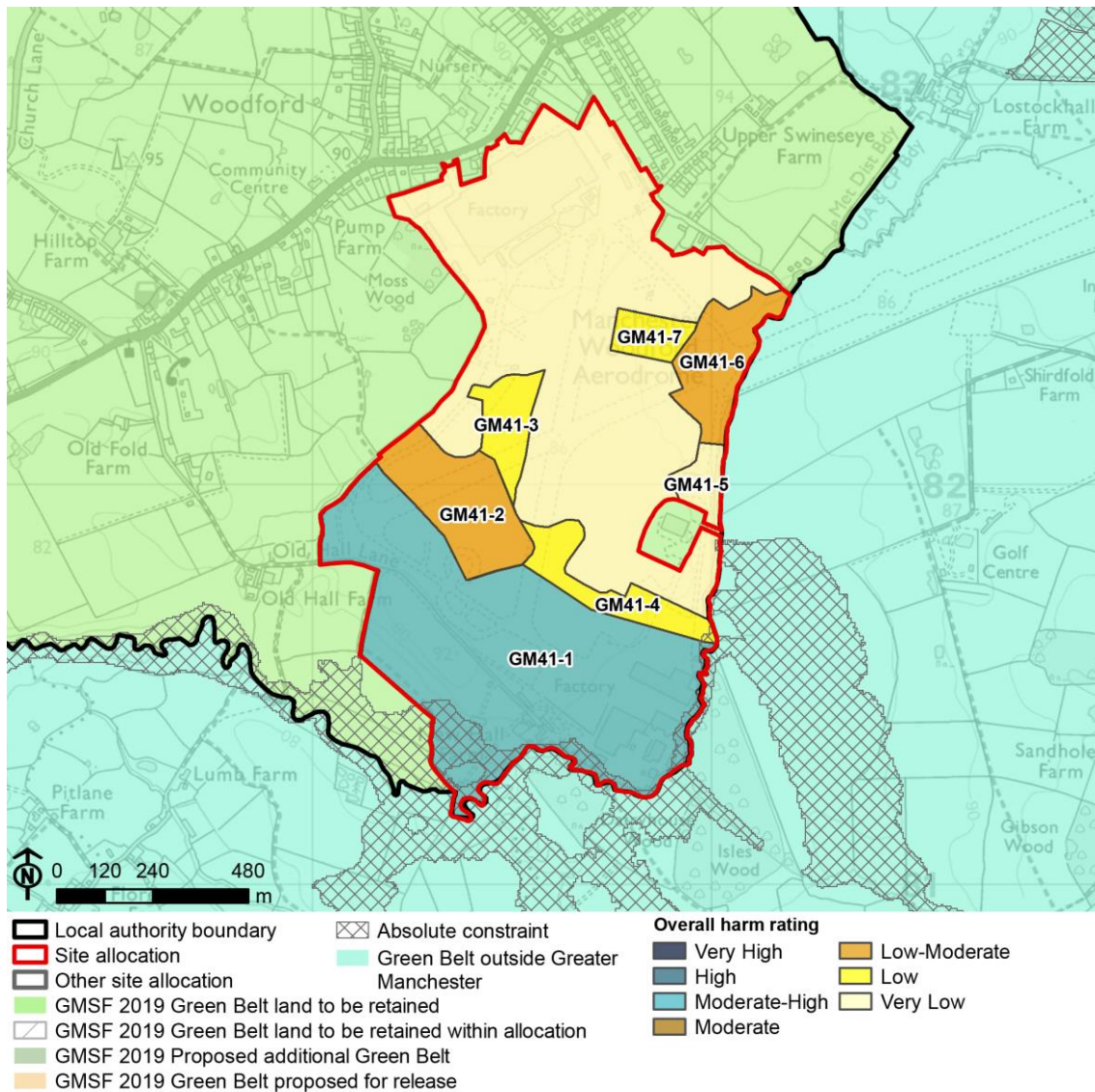
GM41 - Woodford Aerodrome



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Parkland, recreational fields and reinstated fields that will adjoin Woodford Garden Village, in the Metropolitan Borough of Stockport.

GM41



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GM41

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate-High | 40.6 |
| Low-Moderate | 13.1 |
| Low | 9.2 |
| Very Low | 57 |
| Total Allocation area | 120 |

As Woodford Garden Village, located within this Allocation, has been granted planning permission, this Allocation has been assessed based on the masterplan for this Allocation within the 2013 Design and Access Statement. Harm to the Green Belt purposes caused by permitted development is not therefore taken into consideration. As much of the north of the Allocation is being developed, it will make no contribution to Green Belt purposes, and can be released from the Green Belt with very low harm.

The remainder of GM41 is split into seven sub-areas to reflect variations in harm to the Green Belt purposes.

This remaining land within the Allocation will predominantly comprise of parkland, recreational fields and reinstated fields, as well as the Avro Heritage Museum. Land will lack distinction from the urban edge of the Garden Village, however the majority of land, forming the southern part of the Allocation, will be uncontained by urbanising development. As such, the majority of land within the Allocation will make a significant contribution to preserving the countryside from encroachment, a moderate contribution to checking the sprawl of Greater Manchester, and a moderate contribution to maintaining the separation of Woodford Garden Village, Barmhall, Ponyton and Handforth.

Release of the Allocation would not increase the containment of retained Green Belt land and would not weaken the Green Belt boundary. Release of the Allocation would constitute moderate-high harm to Green Belt purposes.

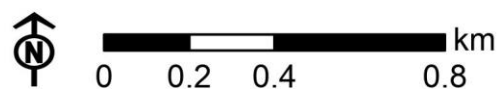
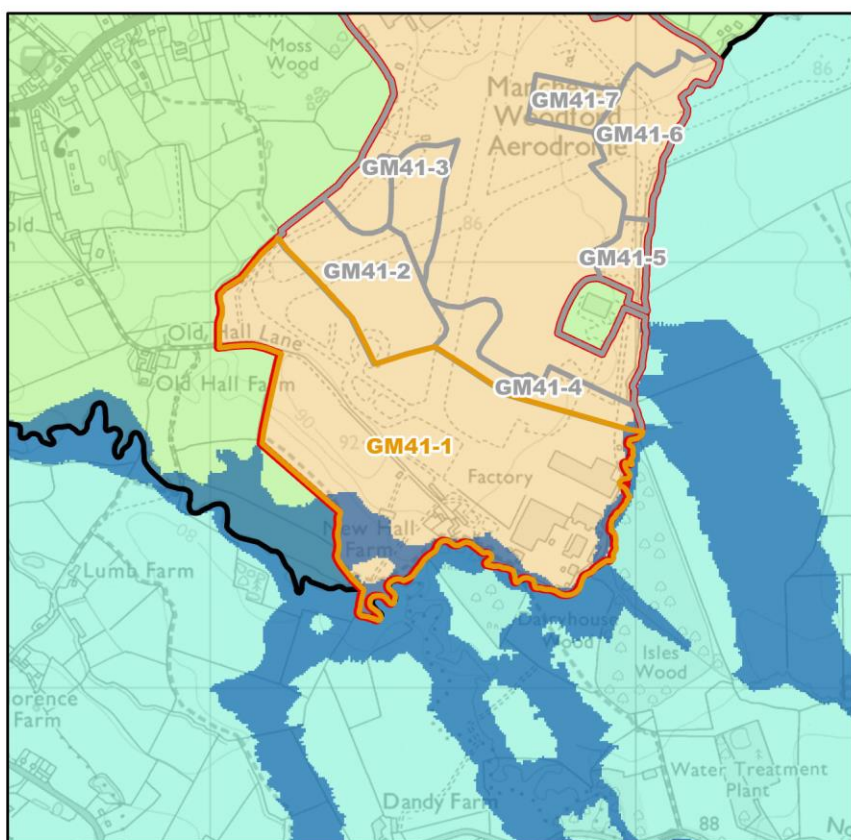
Potential to mitigate harm

The principle cause of harm from release of this Allocation, above that caused by the permitted development, would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, no mitigation could reduce the harm of release of this Allocation. Nevertheless, strengthening the boundary between the Allocation and adjoining retained Green Belt land could potentially increase the future distinction between inset land and retained Green Belt land.

GM41-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Green Belt outside Greater Manchester
- Flood zone 3



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GM41-1

Area Description

The sub-area will comprise of reinstated fields located to the south of Woodford Garden Village. The sub-area will contain no urbanising development and will not be contained by urbanising development. The well-treed hedgerow marking the northern edge of the sub-area would provide some distinction from the urban edge to the north. Field boundaries, a road, and Red Brook and adjoining woodland will mark the edges of the sub-area with retained Green Belt land to the west, southwest and southeast respectively.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Woodford Garden Village will not be adjacent to the large built-up area of Greater Manchester. However, due to the presence of existing development to the north of the Allocation, it will be connected to and have a relationship with the large built-up area. Release of land would extend Woodford Garden Village but would not diminish its separation from the large built-up area.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

The development of Woodford Garden Village will create a new settlement that is of relevance in terms of Green Belt Purpose 2. The presence of the settlement will already affect the gap between the neighbouring settlements of Barmhall to the north, Ponyton to the east and Handforth to the west. However, the sub-area will be more closely related to Woodford Garden Village, limiting the contribution of the sub-area in preventing the merging of towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

Release would encroach on open reinstated fields that will be perceived as countryside.

GM41-1

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The land will not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM41-1

Impact on adjacent Green Belt

Rating: No/Negligible

The release of the sub-area, as part of the release of the Allocation as a whole, would not result in the increased containment of any retained Green Belt land, and would result in a Green Belt boundary of similar strength to the residential garden boundaries.

Overall harm to Green Belt purposes from release of land

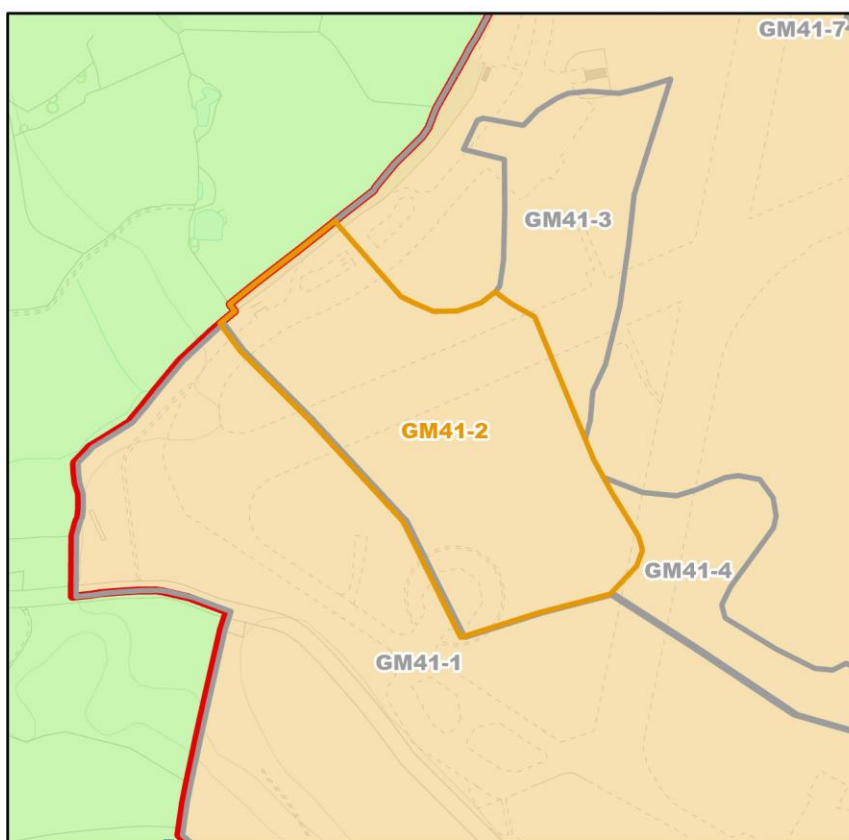
Moderate-High

Release of this sub-area, as part of the release of the Allocation as a whole, would constitute significant encroachment on the countryside, moderate sprawl, and a moderate impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as moderate-high.

GM41-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



0 0.07 0.15 0.3 km

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GM41-2

Area Description

The sub-area will comprise of playing fields located on the southern edge of Woodford Garden Village. The sub-area will contain no urbanising development and will not be contained by urbanising development. However, garden boundaries with some trees will provide limited distinction between the urban edge and the sub-area. Some trees will mark the edge of the sub-area with the adjoining sub-areas to the east and retained Green Belt land to the west, whilst well-treed hedgerow will mark the edge of the sub-area with the adjoining sub-area to the south.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

Woodford Garden Village will not be adjacent to the large built-up area of Greater Manchester. However, due to the presence of existing development to the north of the Allocation, it will be connected to and have a relationship with the large built-up area. Release of land would extend Woodford Garden Village but would not diminish its separation from the large built-up area. Moreover, there will be a lack of distinction between the sub-area and the urban edge, limiting the role of the sub-area in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The development of Woodford Garden Village will create a new settlement that is of relevance in terms of Green Belt Purpose 2. The presence of the settlement will already affect the gap between the neighbouring settlements of Barmhall to the north, Ponyton to the east and Handforth to the west. However, the sub-area will be closely related to and lack distinction from Woodford Garden Village, limiting the contribution of the sub-area in preventing the merging of towns.

GM41-2

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Release would encroach on land that will comprise of playing fields, uses associated with the proximity of the urban area, but will nonetheless be open and undeveloped in character. However, the lack of distinction between the sub-area and the urban edge will limit its role in preventing encroachment on the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The land will not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM41-2

Impact on adjacent Green Belt

Rating: No/Negligible

The release of the sub-area, as part of the release of the Allocation as a whole, would not result in the increased containment of any retained Green Belt land, and would result in a Green Belt boundary of similar strength to the residential garden boundaries, defined by a field boundary to the west.








Overall harm to Green Belt purposes from release of land

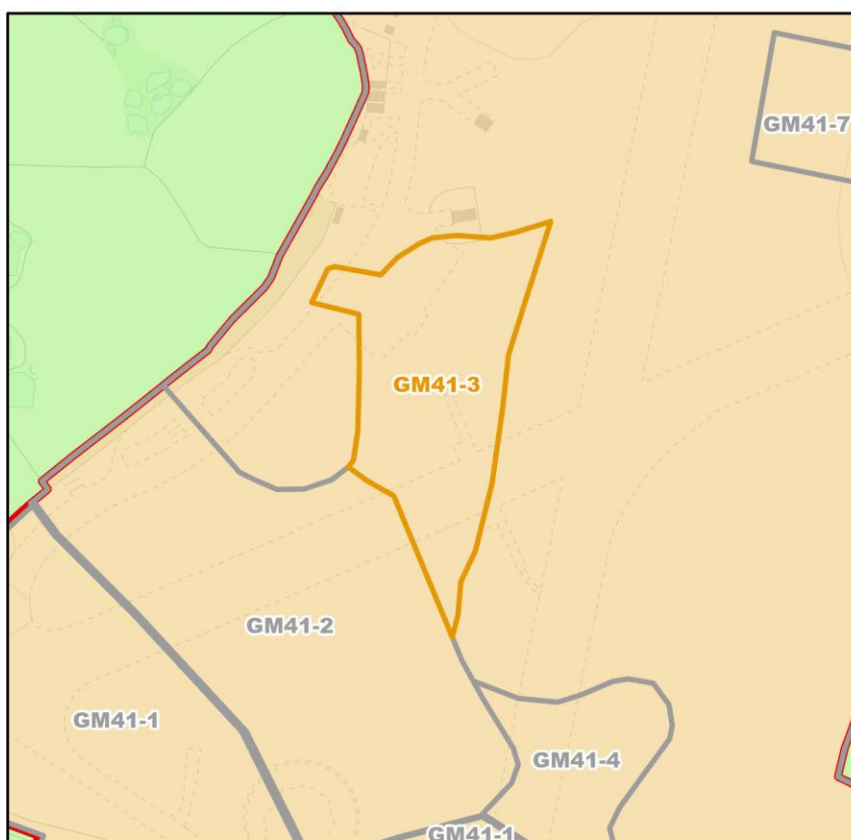
Low-Moderate

Release of this sub-area, as part of the release of the Allocation as a whole, would constitute moderate encroachment on the countryside, relatively limited sprawl, and a relatively limited impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as low-moderate.

GM41-3



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt



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GM41-3

Area Description

The sub-area will comprise of a playing field located on the southern edge of Woodford Garden Village. The sub-area will contain no urbanising development, however it will be nearly entirely contained by the surrounding urban edge. Garden boundaries with some trees will provide limited distinction between the urban edge and the sub-area. Some trees and the edge of a playground will mark the edge of the sub-area with the adjoining sub-area to the south.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Limited/No

Woodford Garden Village will not be adjacent to the large built-up area of Greater Manchester. However, due to the presence of existing development to the north of the Allocation, it will be connected to and have a relationship with the large built-up area. Release of land would extend Woodford Garden Village but would not diminish its separation from the large built-up area. Moreover, because the sub-area will be almost entirely contained by the urban edge, release would not extend beyond the existing urban edge of the settlement, limiting its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The development of Woodford Garden Village will create a new settlement that is of relevance in terms of Green Belt Purpose 2. The presence of the settlement will already affect the gap between the neighbouring settlements of Barmhall to the north, Ponyton to the east and Handforth to the west. However, the sub-area will be closely related to and nearly entirely contained by Woodford Garden Village, limiting any contribution the sub-area would make to preventing the merging of towns.

GM41-3

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

Release would encroach on land that will comprise of a playing field, a use associated with the proximity of the urban area, but will nonetheless be open and undeveloped in character. However, the extent of urbanising containment within the sub-area and its lack of distinction from the urban edge will limit its role in preventing encroachment on the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The land will not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM41-3

Impact on adjacent Green Belt

Rating: No/Negligible

Due to the extent of its own containment, the release of the sub-area, as part of the release of the Allocation as a whole, would not result in the increased containment of any retained Green Belt land. In addition, release would have no bearing on the strength of any retained Green Belt land, as the release of the Allocation as a whole would not weaken the distinction between inset settlement and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

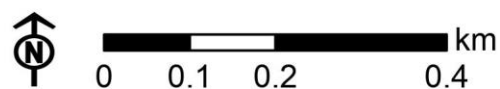
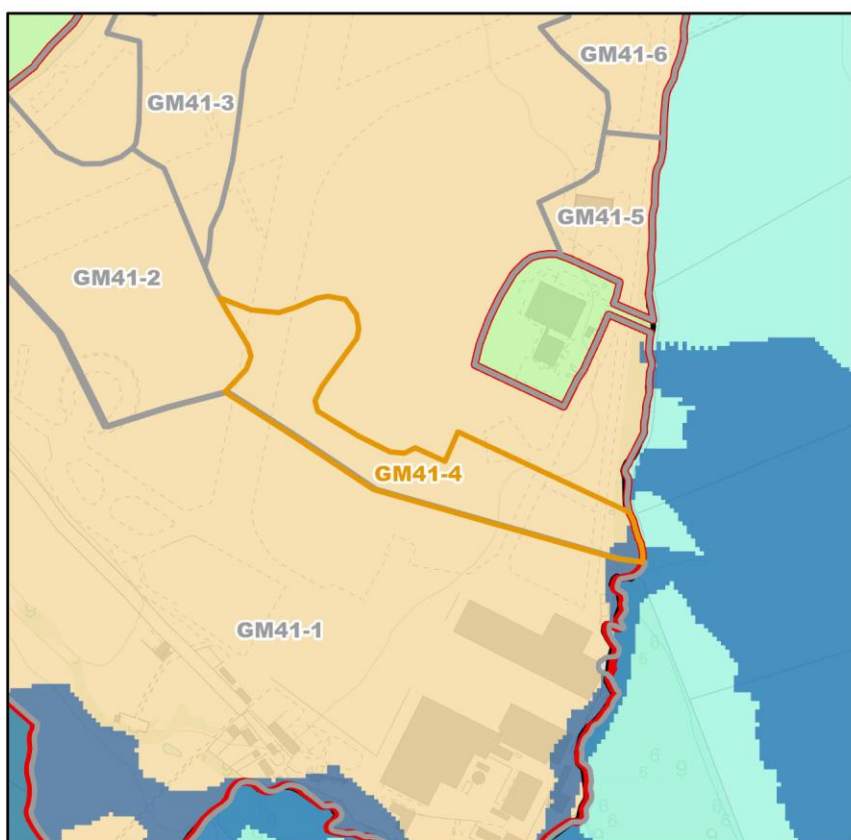
Low

Release of this sub-area, as part of the release of the Allocation as a whole, would constitute relatively limited encroachment on the countryside. It would constitute a negligible weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as low.

GM41-4



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Green Belt outside Greater Manchester
-  Flood zone 3



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GM41-4

Area Description

The sub-area will comprise of parkland located on the southern edge of Woodford Garden Village. The sub-area will contain no urbanising development, however the adjoining urban edge will create a degree of urbanising containment. Garden boundaries and commercial unit boundaries with some trees will provide limited distinction between the urban edge and the sub-area. Well-treed hedgerow will mark the edge of the sub-area with the adjoining sub-area to the south, whilst a woodland band will mark the edge with the adjoining retained Green Belt land to the east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Limited/No

Woodford Garden Village will not be adjacent to the large built-up area of Greater Manchester. However, due to the presence of existing development to the north of the Allocation, it will be connected to and have a relationship with the large built-up area. Release of land would extend Woodford Garden Village but would not diminish its separation from the large built-up area.

Moreover, the sub-area will have a degree of urbanising containment by the adjoining settlement edge and there will be a lack of distinction between the sub-area and the urban edge, limiting the role of the sub-area in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The development of Woodford Garden Village will create a new settlement that is of relevance in terms of Green Belt Purpose 2. The presence of the settlement will already affect the gap between the neighbouring settlements of Barmhall to the north, Ponyton to the east and Handforth to the west.

However, the sub-area will be closely related to and lack distinction from Woodford Garden Village, and will have a degree of urbanising containment, limiting the contribution of the sub-area in preventing the merging of towns.

GM41-4

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

Release would encroach on land that will comprise of parkland, a use associated with the proximity of the urban area, but will nonetheless be open and undeveloped in character. However, the extent of urbanising containment within the sub-area and its lack of distinction from the urban edge will limit its role in preventing encroachment on the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The land will not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM41-4

Impact on adjacent Green Belt

Rating: No/Negligible

The release of the sub-area, as part of the release of the Allocation as a whole, would not result in the increased containment of any retained Green Belt land, and would result in a stronger Green Belt boundary defined by the woodland band to the east.

Overall harm to Green Belt purposes from release of land

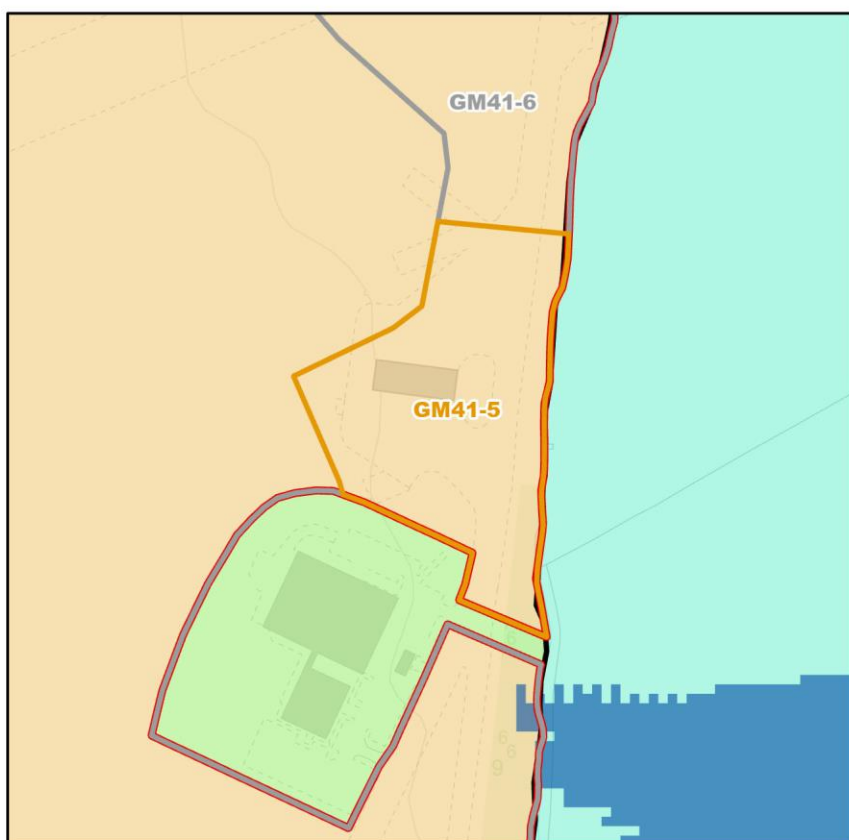
Low

Release of this sub-area, as part of the release of the Allocation as a whole, would constitute relatively limited encroachment on the countryside. It would constitute a negligible weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as low.

GM41-5



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Green Belt outside Greater Manchester
- Flood zone 3



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GM41-5

Area Description

The sub-area will comprise of some open space alongside the Avro Heritage Museum, on the eastern edge of Woodford Garden Village. The museum and associated car park and hardstanding would have an urbanising influence, however the sub-area would retain sufficient open space for there to be a relationship with adjacent open land. The urban edges of the Garden Village will however create a degree of urbanising containment, and garden boundaries and commercial unit boundaries with some trees will provide limited distinction between the urban edge and the sub-area. There will be no defined boundary features to mark the edge of the sub-area with the adjoining sub-area to the north, whilst a tree-lined road and a brook would provide some distinction from the adjoining retained Green Belt land to the east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Limited/No

Woodford Garden Village will not be adjacent to the large built-up area of Greater Manchester. However, due to the presence of existing development to the north of the Allocation, it will be connected to and have a relationship with the large built-up area. Release of land would extend Woodford Garden Village but would not diminish its separation from the large built-up area. Moreover, the sub-area will contain some existing urbanising development, will have a degree of urbanising containment by the adjoining settlement edge and there will be a lack of distinction between the sub-area and the urban edge, limiting the role of the sub-area in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The development of Woodford Garden Village will create a new settlement that is of relevance in terms of Green Belt Purpose 2. The presence of the settlement will already affect the gap between the neighbouring settlements of Barmhall to the north, Ponyton to the east and Handforth to the west. However, the sub-area will be closely related to Woodford Garden Village and will contain existing urbanising development, limiting the contribution of the sub-area in preventing the merging of towns.

GM41-5

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Limited/No

Release would encroach on land which is characterised by development that is urban in character, lacks distinction from the urban edge and has a degree of urbanising containment. As such this limits any role the sub-area would play in preventing encroachment on the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The land will not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM41-5

Impact on adjacent Green Belt

Rating: No/Negligible

The release of the sub-area, as part of the release of the Allocation as a whole, would not result in the increased containment of any retained Green Belt land, and would result in a stronger Green Belt boundary defined by the tree-lined road and a brook to the east.

Overall harm to Green Belt purposes from release of land

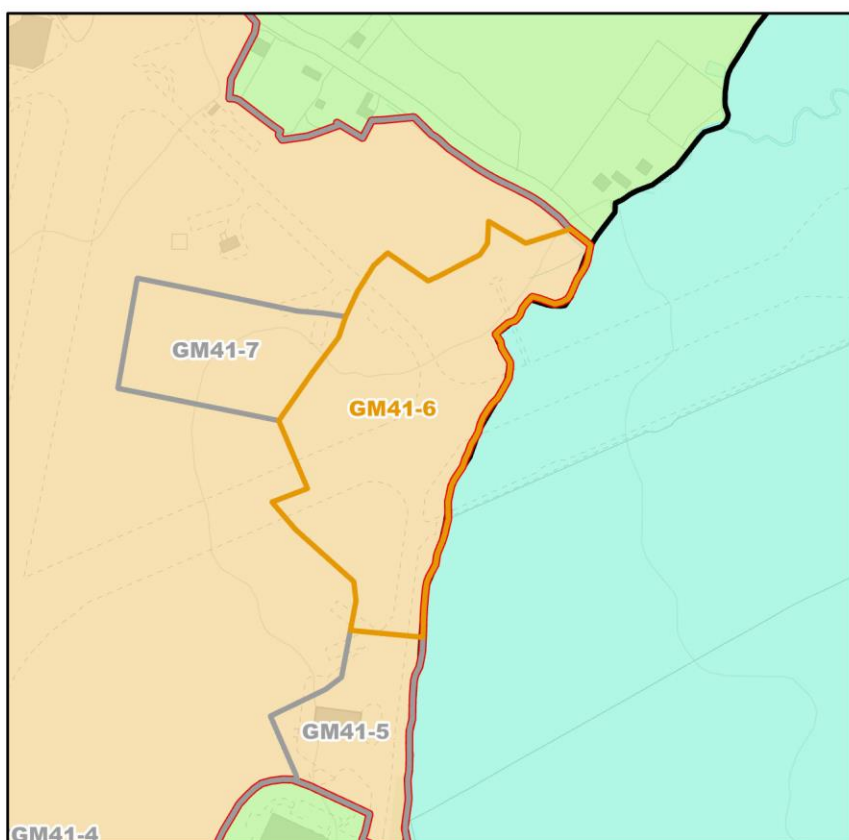
Very Low

Release of this sub-area, as part of the release of the Allocation as a whole, would not impact any of the Green Belt purposes. It would constitute a negligible weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as very low.

GM41-6



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Green Belt outside Greater Manchester



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GM41-6

Area Description

The sub-area will comprise of parkland located on the eastern edge of Woodford Garden Village. The sub-area will contain no urbanising development and will not be contained by urbanising development. However, garden boundaries with some trees will provide limited distinction between the urban edge and the sub-area. Some trees will mark the edge of the sub-area with the adjoining sub-area to the west, but there will be no defined boundary to mark the edge with the adjoining sub-area to the south. Tree cover, a brook and some ponds would provide some limited distinction from the adjoining retained Green Belt land to the east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

Woodford Garden Village will not be adjacent to the large built-up area of Greater Manchester. However, due to the presence of existing development to the north of the Allocation, it will be connected to and have a relationship with the large built-up area. Release of land would extend Woodford Garden Village but would not diminish its separation from the large built-up area. Moreover, there will be a lack of distinction between the sub-area and the urban edge, limiting the role of the sub-area in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The development of Woodford Garden Village will create a new settlement that is of relevance in terms of Green Belt Purpose 2. The presence of the settlement will already affect the gap between the neighbouring settlements of Barmhall to the north, Ponyton to the east and Handforth to the west. However, the sub-area will be closely related to and lack distinction from Woodford Garden Village, limiting the contribution of the sub-area in preventing the merging of towns.

GM41-6

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Release would encroach on land that will comprise of parkland, a use associated with the proximity of the urban area, but will nonetheless be open and undeveloped in character. However, the lack of distinction between the sub-area and the urban edge will limit its role in preventing encroachment on the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The land will not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM41-6

Impact on adjacent Green Belt

Rating: No/Negligible

The release of the sub-area, as part of the release of the Allocation as a whole, would not result in the increased containment of any retained Green Belt land, and would result in a Green Belt boundary of similar strength to the residential garden boundaries.









Overall harm to Green Belt purposes from release of land

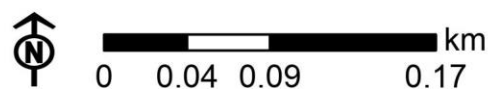
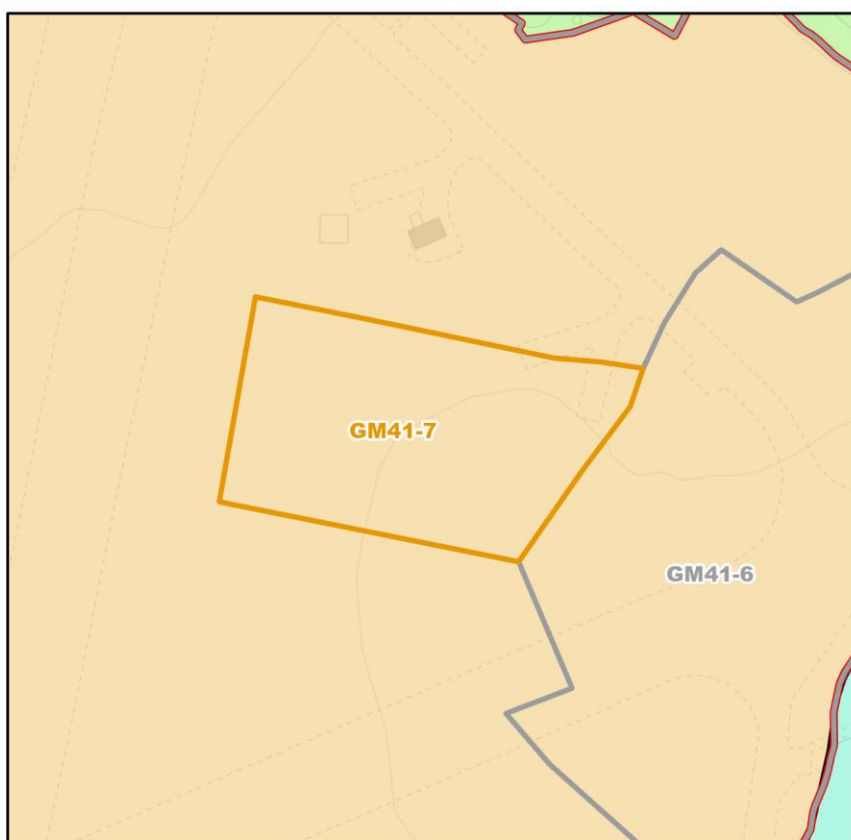
Low-Moderate

Release of this sub-area, as part of the release of the Allocation as a whole, would constitute moderate encroachment on the countryside, relatively limited sprawl, and a relatively limited impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as low-moderate.

GM41-7



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Green Belt outside Greater Manchester



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GM41-7

Area Description

The sub-area will comprise of a park located on the eastern edge of Woodford Garden Village. The sub-area will contain no urbanising development, however it will be nearly entirely contained by the surrounding urban edge. Garden boundaries with some trees will provide limited distinction between the urban edge and the sub-area. Some trees will mark the edge of the sub-area with the adjoining sub-area to the east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Limited/No

Woodford Garden Village will not be adjacent to the large built-up area of Greater Manchester. However, due to the presence of existing development to the north of the Allocation, it will be connected to and have a relationship with the large built-up area. Release of land would extend Woodford Garden Village but would not diminish its separation from the large built-up area. Moreover, because the sub-area will be almost entirely contained by the urban edge, release would not extend beyond the existing urban edge of the settlement, limiting its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

The development of Woodford Garden Village will create a new settlement that is of relevance in terms of Green Belt Purpose 2. The presence of the settlement will already affect the gap between the neighbouring settlements of Barmhall to the north, Ponyton to the east and Handforth to the west. However, the sub-area will be closely related to and nearly entirely contained by Woodford Garden Village, limiting any contribution the sub-area would make to preventing the merging of towns.

GM41-7

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

Release would encroach on land that will comprise of a park, a use associated with the proximity of the urban area, but will nonetheless be open and undeveloped in character. However, the extent of urbanising containment within the sub-area and its lack of distinction from the urban edge will limit its role in preventing encroachment on the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The land will not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM41-7

Impact on adjacent Green Belt

Rating: No/Negligible

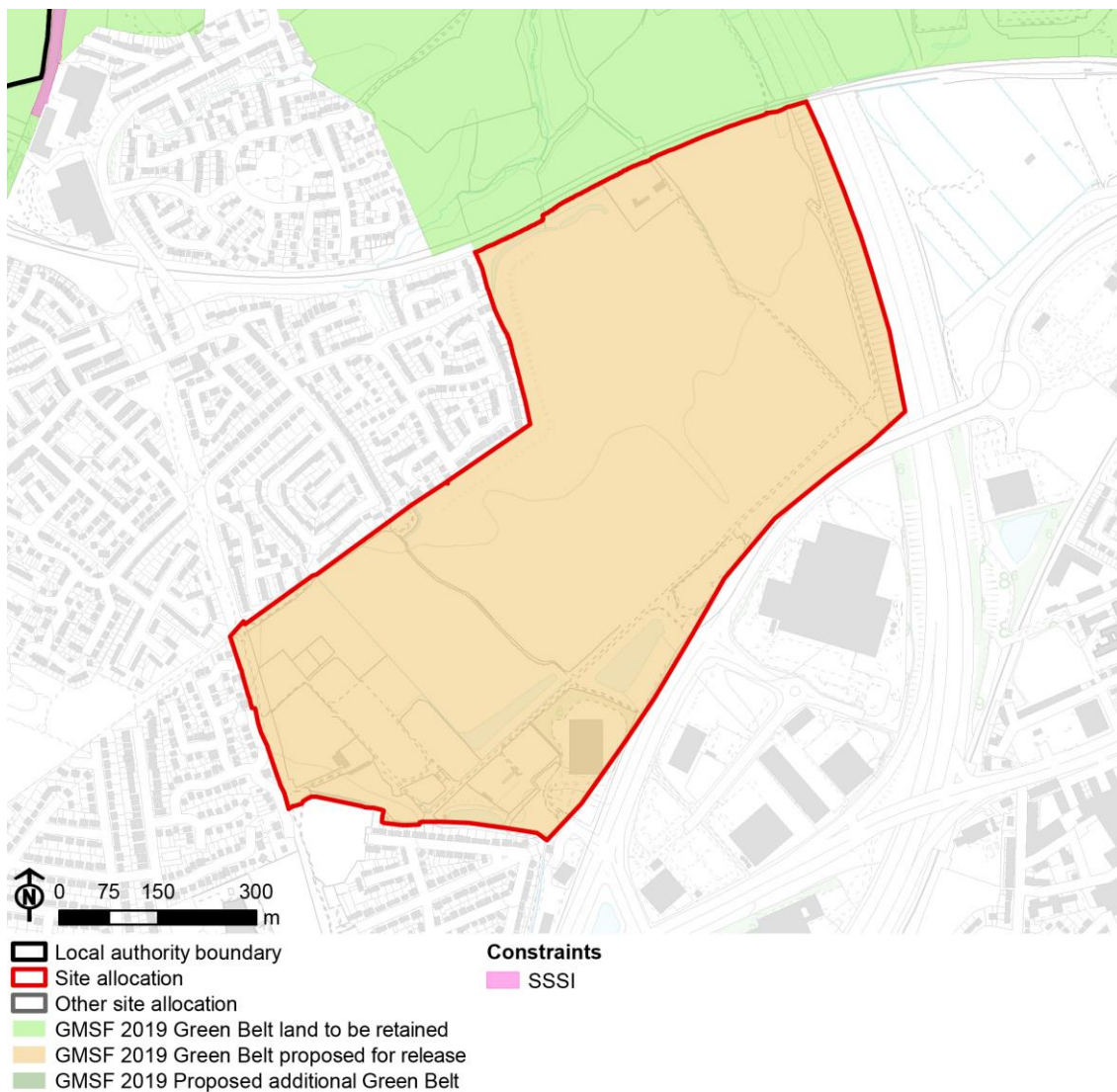
Due to the extent of its own containment, the release of the sub-area, as part of the release of the Allocation as a whole, would not result in the increased containment of any retained Green Belt land. In addition, release would have no bearing on the strength of any retained Green Belt land, as the release of the Allocation as a whole would not weaken the distinction between inset settlement and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

Low

Release of this sub-area, as part of the release of the Allocation as a whole, would constitute relatively limited encroachment on the countryside. It would constitute a negligible weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as low.

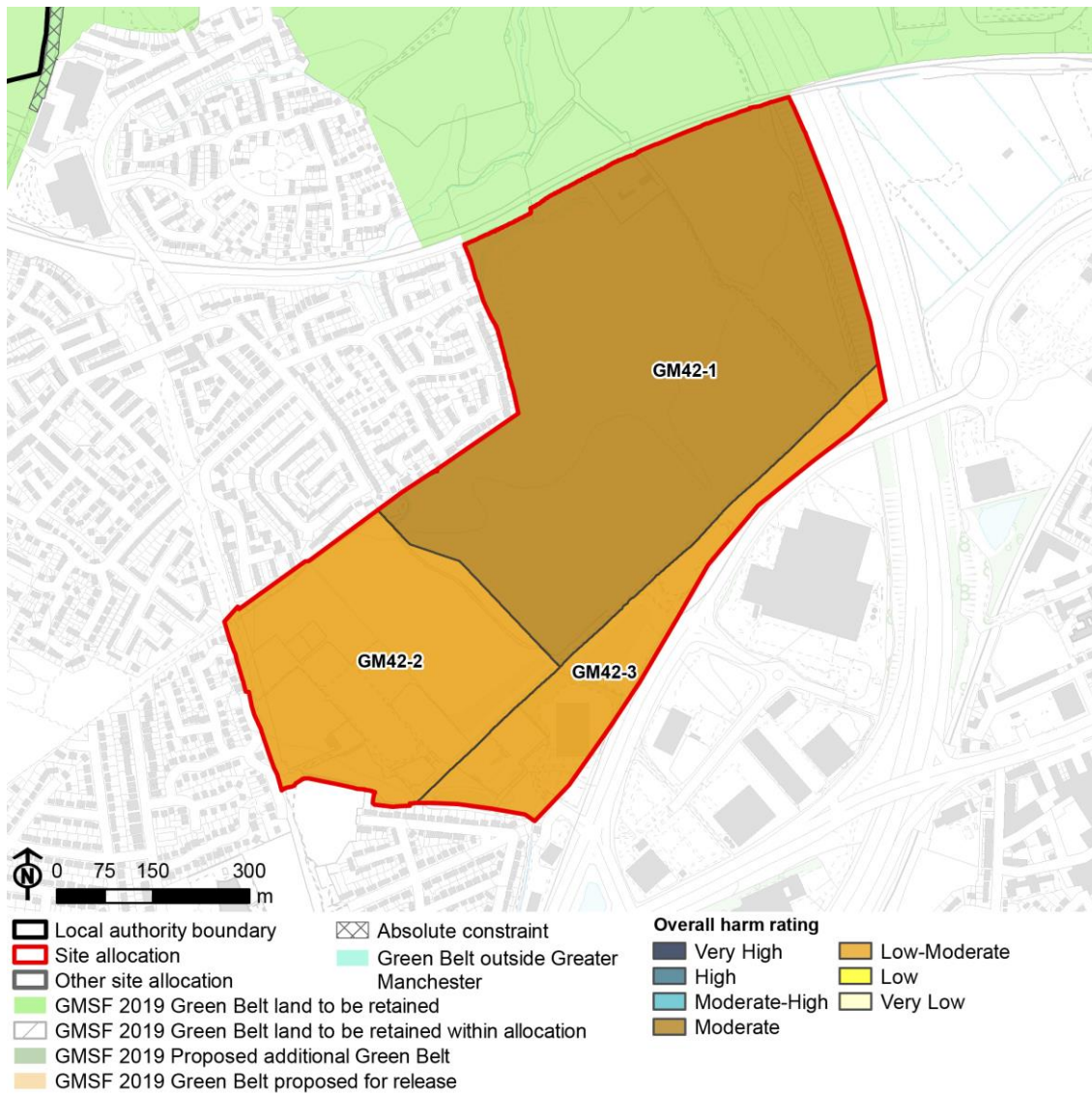
GM42 - Ashton Moss West



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Land at Ashton Moss, forming the gap between Ashton-under-Lyne, Droylsden and Audenshaw, within the Metropolitan Borough of Tameside.

GM42



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GM42

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate | 36.5 |
| Low-Moderate | 21.8 |
| Total Allocation area | 58.2 |

GM42 is split into three sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation predominantly comprises of open land, with Notcutts Garden Centre located in the south. The surrounding urban edges create a degree of urbanising containment within much of the Allocation, and land lacks significant distinction from the urban edge. As such, land within the Allocation makes a moderate contribution to checking the sprawl of Greater Manchester, preventing encroachment on the countryside and maintaining the separation of Droylesden and Ashton-under-Lyne, with land in the south making a lesser contribution.



Release of the Allocation would result in a distinct and consistent Green Belt boundary and would not increase the containment of any retained Green Belt land. Release of the Allocation would constitute moderate harm to Green Belt purposes.

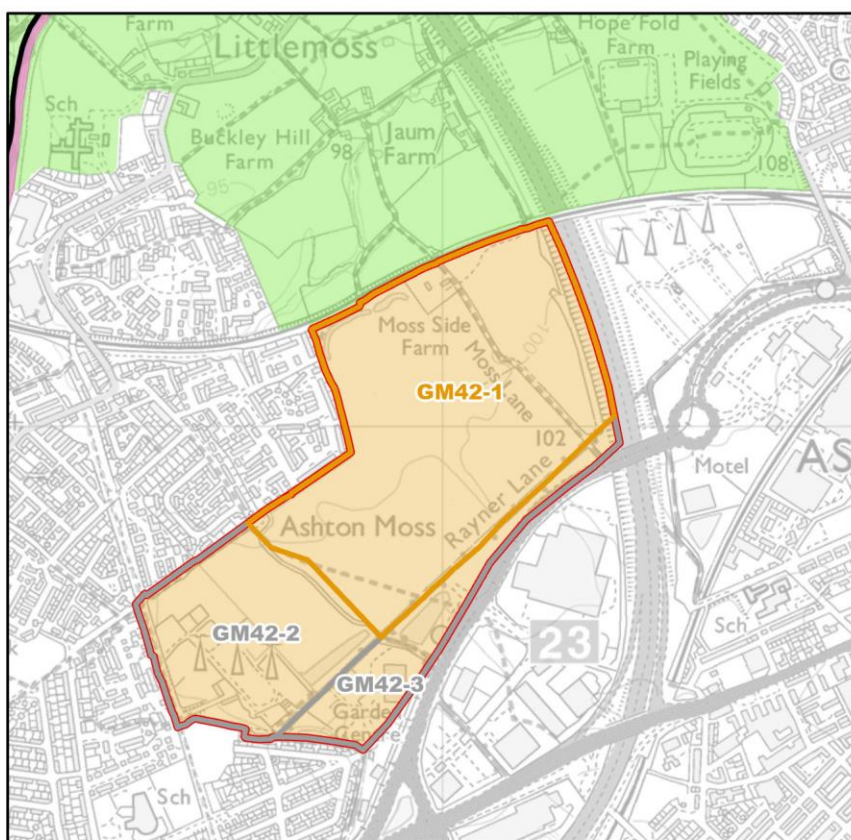
Potential to mitigate harm

The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, as opposed to its impact on retained Green Belt land. As such, mitigation measures would not reduce the harm of release of this Allocation.

GM42-1



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  SSSI



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GM42-1

Area Description

Slightly elevated open land formed from material removed during construction of local development, forming the gap between Ashton-under-Lyne, Droylsden and Audenshaw. Land is crossed by footpaths and contains a couple of small water bodies. The area contains no significant urbanising development, in Green Belt terms, to diminish openness. The land has a degree of containment by the urban edge, however its slight elevation helps to strengthen the relationship with the open countryside to the north. Rayner Lane provides only limited distinction from urbanising uses to the south, however the M60 provides a strong boundary to the east. The northeast of the sub-area is weakly bound by residential garden boundaries. The outer boundary with adjacent retained Green Belt land to the north is defined by a railway line and associated tree cover.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Droylsden, Audenshaw and Ashton-under-Lyne are part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The land is free of urbanising influences, however the extent of the containment of this sub-area limits its role in preventing sprawl to some extent.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would remove the gap between the towns of Droylesden and Ashton-under-Lyne which, despite a degree of convergence to the south, retain distinct enough identities for this land to play a meaningful role in preserving the gap between them.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

The release would encroach on land which, despite a degree of containment, is free of urbanising influences and is generally perceived as countryside.

GM42-1

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Limited

The release would in principle detract from the wider setting of a number of nearby historic settlements, but in practice would not diminish the components important to its historic character, in part due to its location visual screening.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM42-1

Impact on adjacent Green Belt

Rating: No/negligible

Given the extent of its own containment, release of the sub-area, as part of the release of the Allocation as a whole, would therefore not increase the containment of adjacent retained Green Belt land to the north. The release would result in a distinct and consistent boundary between the inset settlement and remaining Green Belt land, which would be bound to the north by the railway line.







Overall harm to Green Belt purposes from release of land

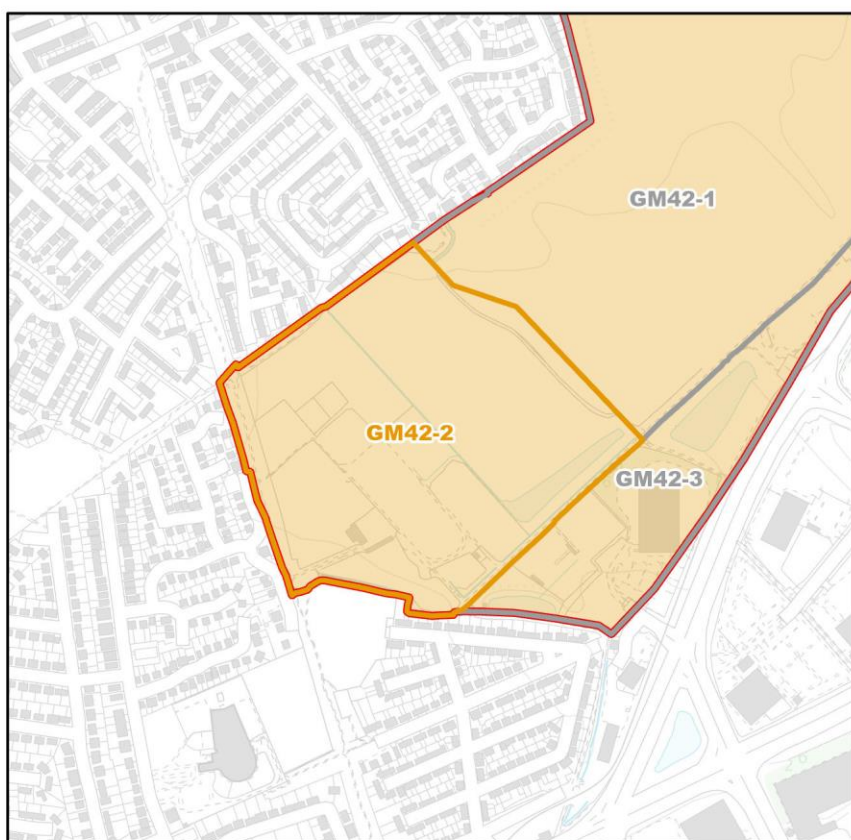
Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside, a moderate impact on preventing the merger of towns, and a relatively limited impact on the setting of historic towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

GM42-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained



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GM42-2

Area Description

Open land located in the gap between Ashton-under-Lyne, Droylsden and Audenshaw. There is a cluster of communication masts in the west of the sub-area and it contains a small water body. The area contains no significant urbanising development, in Green Belt terms, to diminish openness. The surrounding urban edge creates a degree of containment. The majority of the sub-area is weakly bound by residential gardens. The outer boundary of the sub-area is defined by a tree-lined path, providing limited distinction from adjacent land within GM42-1 to the east and the retained Green Belt land beyond.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Droylsden, Audenshaw and Ashton-under-Lyne are part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The land is free of urbanising influences, however the extent of the containment of this sub-area limits its role in preventing sprawl to some extent.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

Releasing this land would reduce the gap between the towns of Droylsden and Ashton-under-Lyne which, despite a degree of convergence to the south, retain distinct enough identities for this land to play some role in preserving the gap between them, however the degree of containment of the sub-area limits this.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

The release would encroach on land which, despite a degree of containment, is free of urbanising influences and is generally perceived as countryside.

GM42-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Relatively Limited

The release would in principle detract from the wider setting of a number of nearby historic settlements, but in practice would not diminish the components important to its historic character, in part due to its location visual screening.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM42-2

Impact on adjacent Green Belt

Rating: No/Negligible

Given the extent of its own containment, release of the sub-area, as part of the release of the Allocation as a whole, would not significantly increase the containment of any retained Green Belt land to the north. Release would also have no bearing on the strength of retained Green Belt land to the north, as the tree-lined path creates some distinction between the sub-area and those parts of the Allocation area that adjoin the retained Green Belt.

Overall harm to Green Belt purposes from release of land

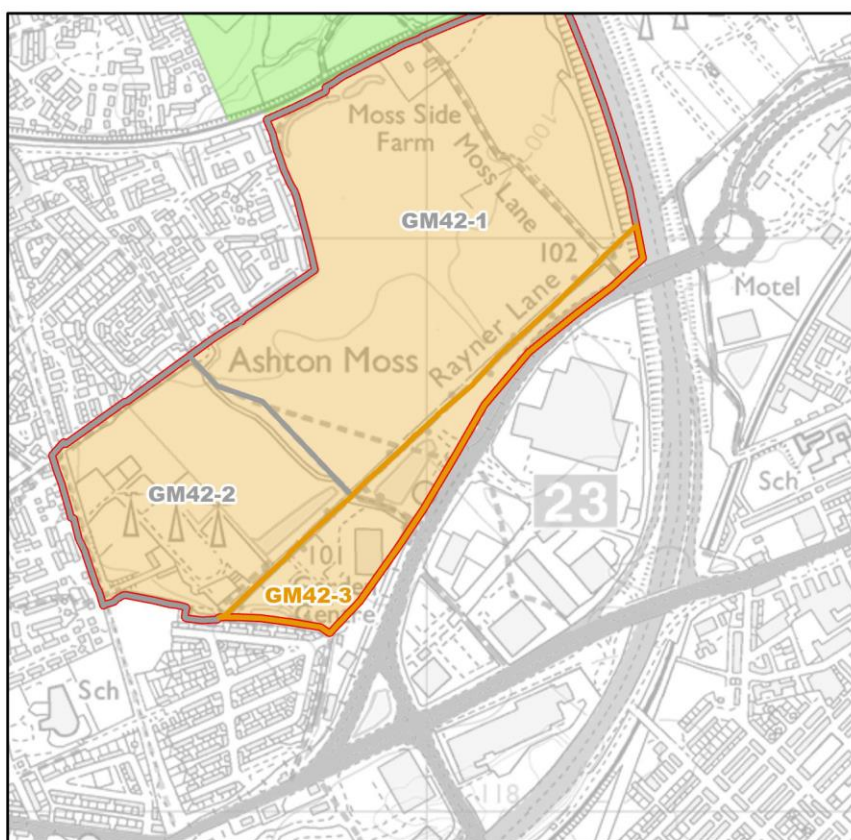
Low-Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns and preserving the setting of historic towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as low-moderate.

GM42-3



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt



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GM42-3

Area Description

Narrow strip of land lying between the settlement edges of Ashton-under-Lyne, Droylsden and Audenshaw, as well as Rayner lane. The sub-area contains some urbanising development, in the form of Notcutts Garden Centre and associated parking, however remaining areas of open land retain some relationship with adjacent land to the north. The settlement edges of Ashton-under-Lyne and Droylsden create a degree of urbanising containment. The A6140 Lord Sheldon Way provides strong distinction from the urban edge, however in preventing sprawl it has been breached by urbanising development within the sub-area. The outer boundary of the sub-area is defined by the minor Rayner Lane, which in some parts is lined with significant tree cover, providing some distinction from adjacent land within GM42-1 to the north and the retained Green Belt land beyond.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

The sub-area adjoins Ashton-under-Lyne, Droylsden and Audenshaw, which form part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. However the degree of urbanising development within the sub-area and the degree of urbanising containment limit this land's role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

Releasing this land would remove a small part of the gap between the towns of Droylsden and Ashton-under-Lyne, however the extent of existing development within the sub-area limits its role, and the two towns in this area are already linked to a sufficient degree that open land here is not a significant factor in their separate identities.

GM42-3

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

This release would encroach on land where the Garden Centre development and hardstanding creates a significant urbanising influence, but where open land allows some relationship with Green Belt land to the north.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM42-3

Impact on adjacent Green Belt

Rating: No/negligible

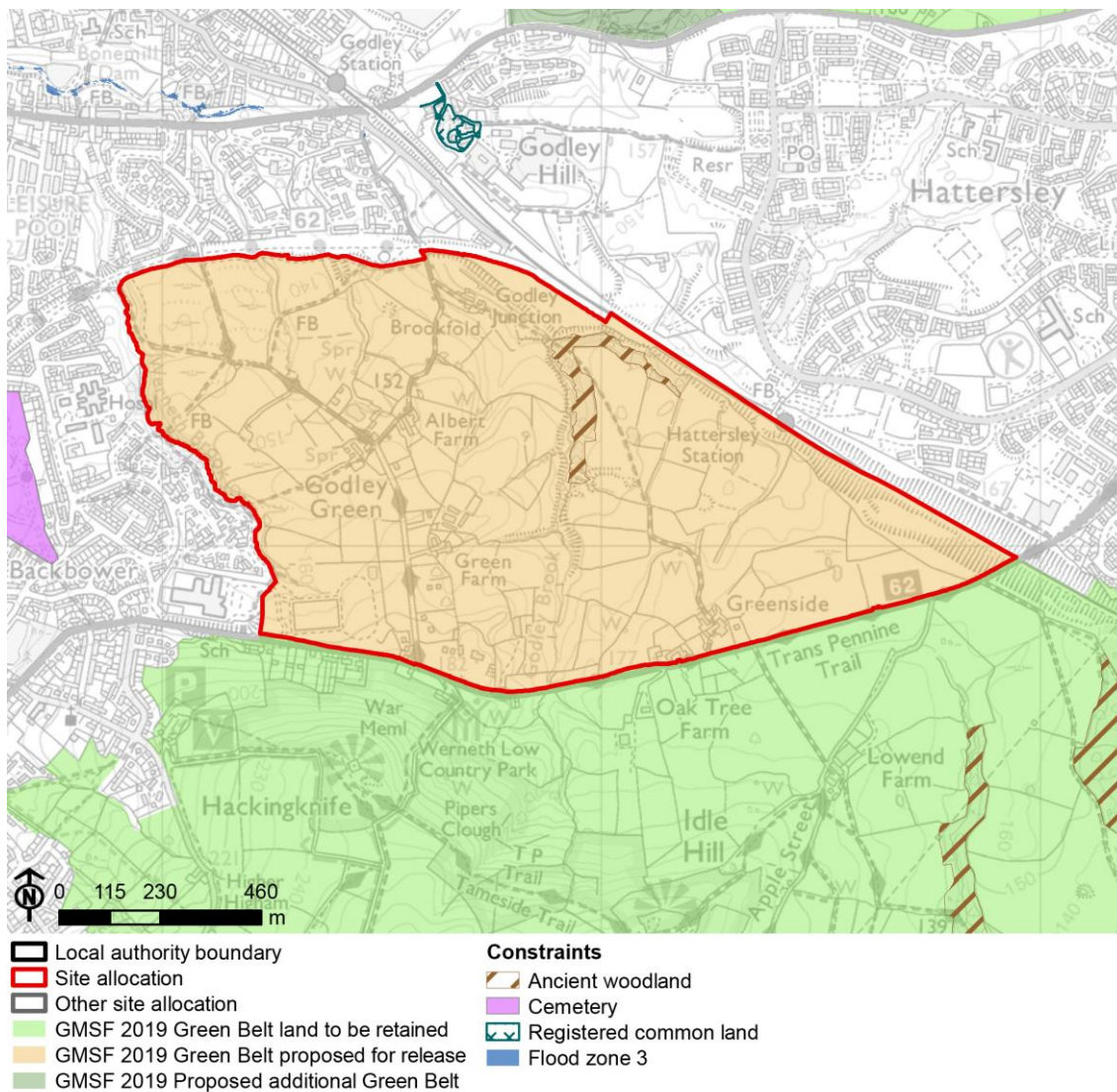
Release of the sub-area, as part of the release of the Allocation as a whole, would not significantly increase the containment of any retained Green Belt land to the north. Release would also have no bearing on the strength of retained Green Belt land to the north, as Rayner Lane creates distinction between the sub-area and those parts of the Allocation area that adjoin the retained Green Belt.

Overall harm to Green Belt purposes from release of land

Low-Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl, relatively limited encroachment on the countryside and a relatively limited impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. It is therefore concluded that the harm to the Green Belt of releasing this sub-area would be low-moderate.

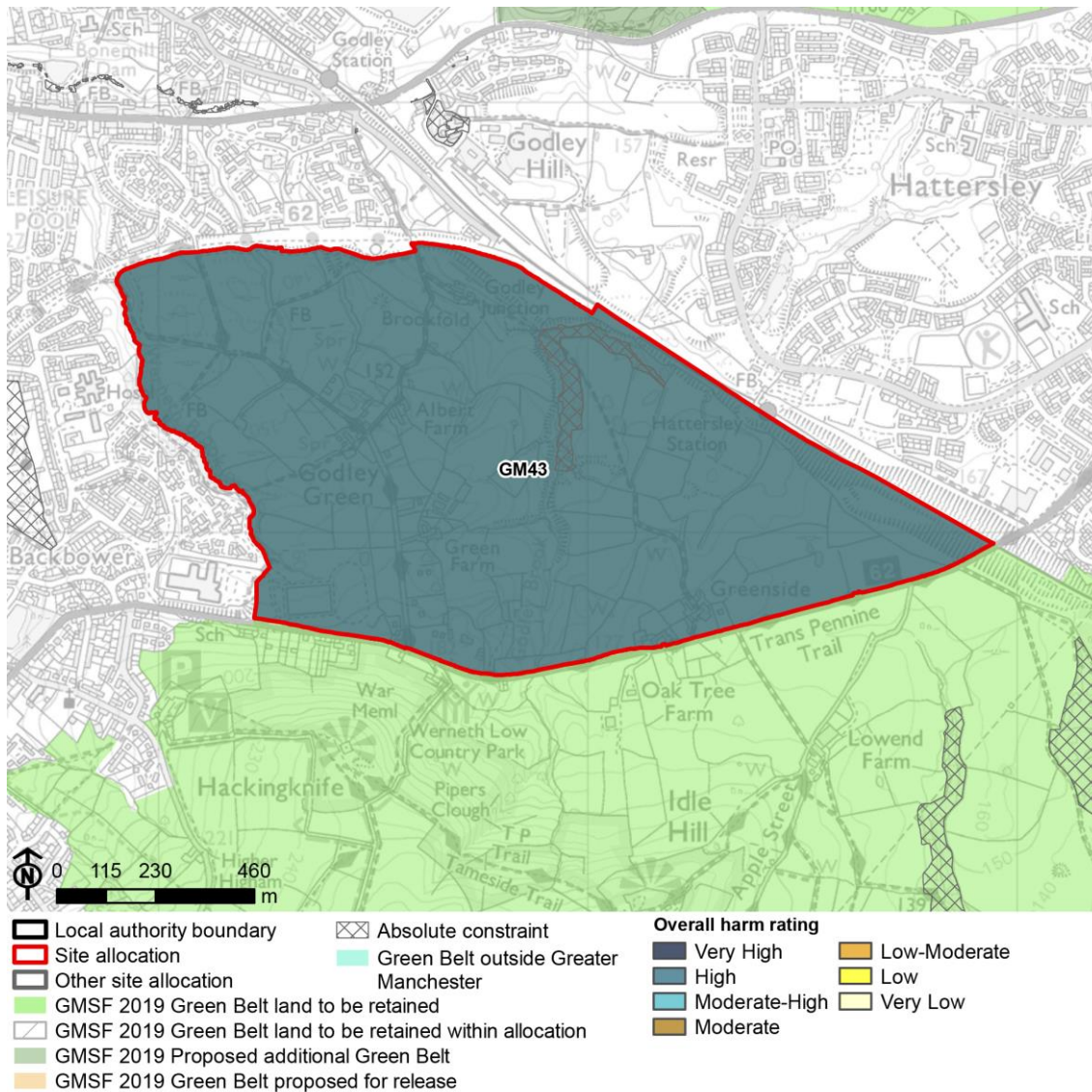
GM43 - Godley Green Garden Village



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Farmland and equine activity east of Hyde, within the Metropolitan Borough of Tameside.

GM43



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GM43

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| High | 123.9 |
| Total Allocation area | 123.9 |

The Allocation comprises of open farmland and equine activity, and includes a number of large dwellings, stables and farmsteads. Although contained by urbanising development on three sides, the size of the area limits any impact on the role of Green Belt land. The land retains strong distinction from the urban edges. As such, land within the Allocation makes a significant contribution to checking the sprawl of Greater Manchester and preventing encroachment of the countryside.

Release of the Allocation would not result in the containment of any retained Green Belt land however it would result in a weakening of the Green Belt boundary. Release of the Allocation would therefore constitute high harm to Green Belt purposes.

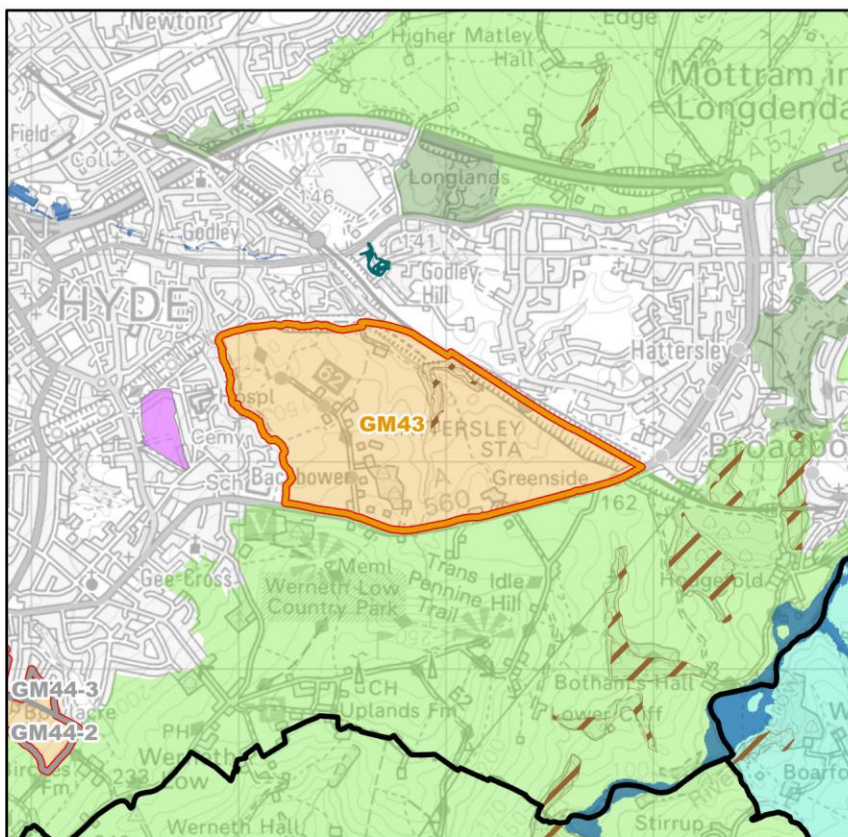
Potential to mitigate harm

Strengthening the boundary between the Allocation and retained Green Belt land to the south, such as by woodland planting along the A560, could potentially increase the future distinction between inset land and retained Green Belt land. This could help to limit the weakening of the boundary between inset land and retained Green Belt land to the south.

GM43



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Green Belt outside Greater Manchester
- Ancient woodland
- Cemetery
- Registered common land
- Flood zone 3



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GM43

Area Description

Large area of undulating farmland on the eastern edge of Hyde. The land is largely occupied by equine activity and includes a number of large dwellings, stables and farmsteads, as well as a number of watercourses, including Godley Brook and Werneth Brook. The existing scattered buildings do not constitute significant urbanising development and do not diminish openness. The Allocation is significantly contained by the settlement edge on three sides, but the size of the area is such that development within it would be perceived as sprawl. The wooded Werneth Brook and well-treed railway lines provide strong distinction from the adjacent urban edge. The outer boundary with adjacent retained Green Belt land is defined by the A560 Mottram Old Road (and the designated Werneth Low Local Nature Reserve beyond to the south).

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Hyde is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. The Allocation's openness, and strong distinction on the urban edge created by the railway lines and wooded brook, contribute to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

This Allocation does not lie directly in the gap between neighbouring towns.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

The release would encroach on land which is free of urbanising uses and, thanks to strong distinction on the urban edge, retains a relatively strong relationship with surrounding open countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM43

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM43

Impact on adjacent Green Belt

Rating: Minor

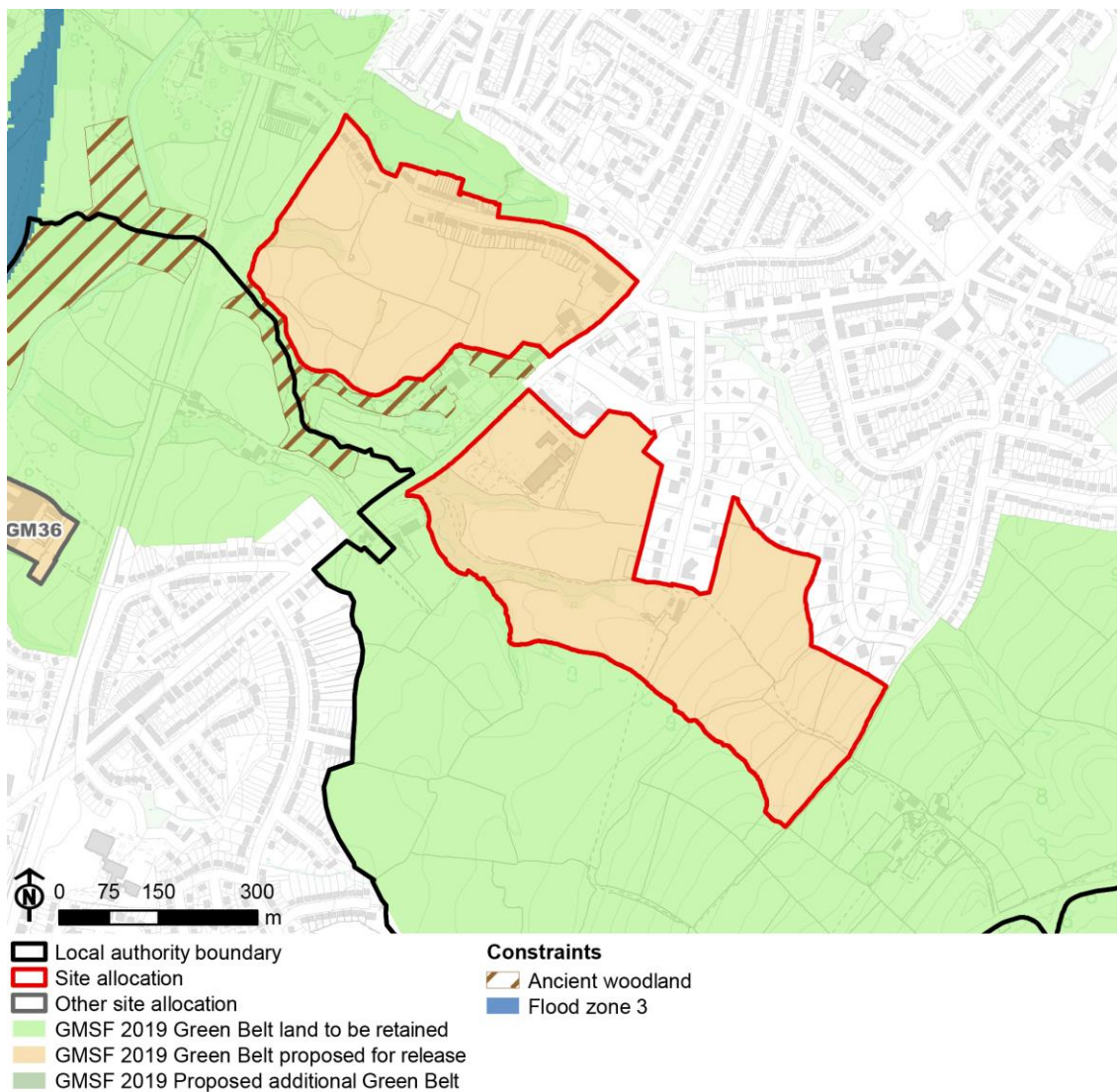
Releasing this Allocation would not increase the containment of any retained Green Belt land. However, it would result in a slight weakening of the boundary between the inset settlement and retained Green Belt land - while the resulting boundary would be more consistent, the A560 would provide slightly less distinction than the existing features of the railway lines and wooded brook.

Overall harm to Green Belt purposes from release of land

High

Release of the Allocation would constitute significant sprawl and encroachment on the countryside. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as high.

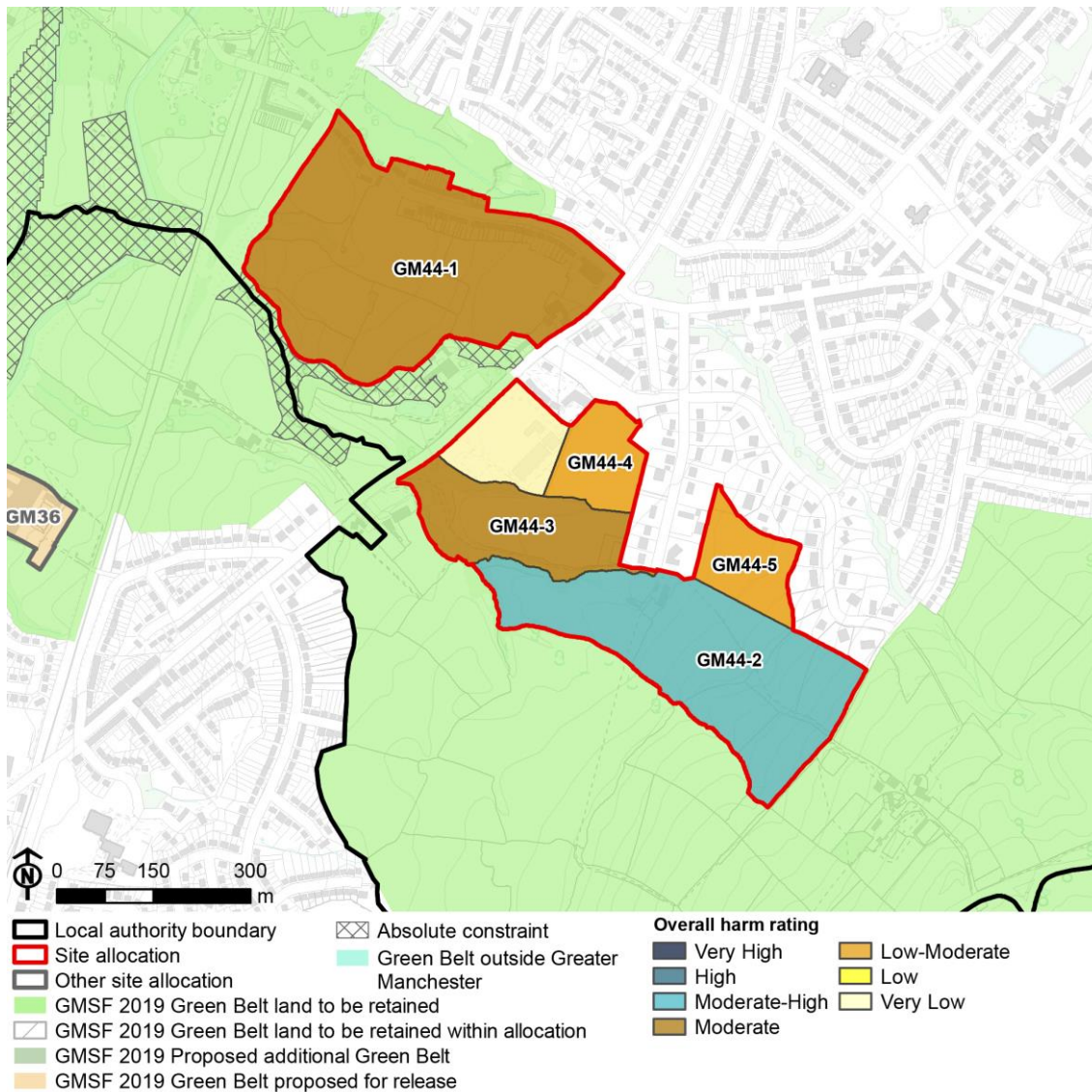
GM44 - South of Hyde



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Two distinct areas of farmland either side of the A560 Hyde Road to the south of Hyde, in the Metropolitan Borough of Tameside.

GM44



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GM44

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Moderate-High | 9.4 |
| Moderate | 17.3 |
| Low-Moderate | 3.7 |
| Very Low | 2 |
| Total Allocation area | 32.4 |

GM44 comprises of two separate parcels of land and is split into five sub-areas to reflect variations in harm to the Green Belt purposes.

The housing estate within the Green Belt located along the A560 is wholly developed and therefore makes no contribution to Green Belt purposes. As such, it can be released from the Green Belt with very low harm.

The remainder of the Allocation largely comprises of open farmland and grassland, but the land lacks distinction from the urban edge. The uncontained outer area (GM44-2) makes a relatively significant contribution to checking the sprawl of Greater Manchester and preventing encroachment on the countryside, and a moderate contribution to maintaining the gap between Hyde, Denton and Woodley, with more contained land closer to the urban edge making a lesser contribution.

Release of the western parcel of land (GM44-1) would not weaken the Green Belt boundary, and its strong woodland containment means that its release would have little overall containing impact.

Release of the eastern parcel of land (GM44-2 to GM44-5) would result in no significant change in strength of the Green Belt boundary, but would weaken the gap between the settlement edges of Hyde and Woodley by extending development southwards along a broad frontage, and would therefore cause some limited containment of retained Green Belt land lying within the gap.

Release of the Allocation would constitute moderate-high harm to Green Belt purposes

GM44

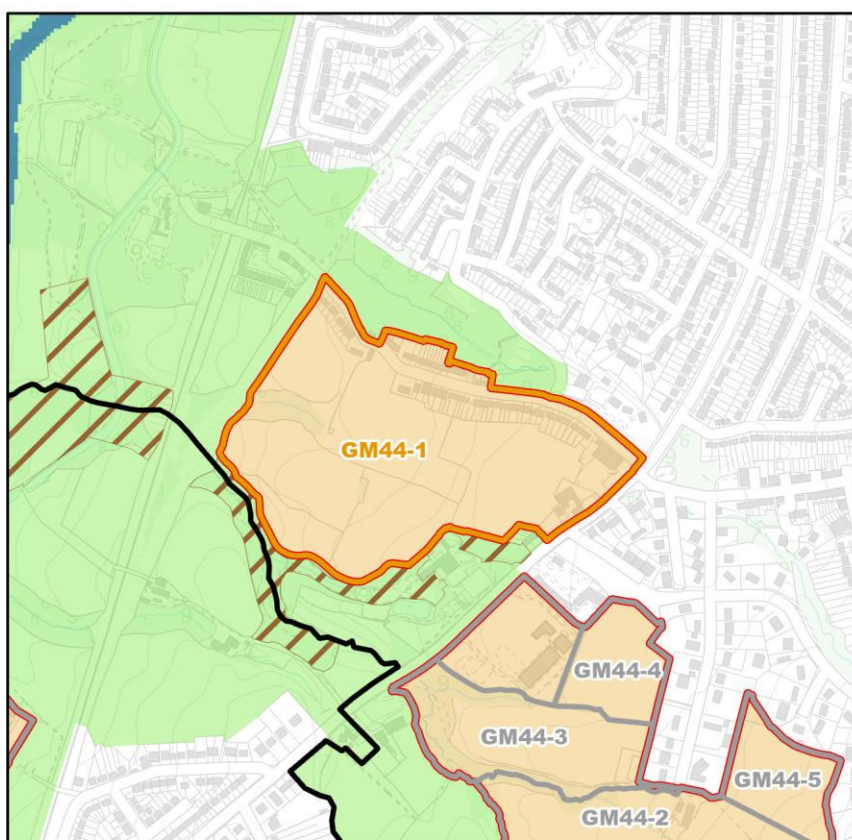
Potential to mitigate harm

Strengthening the boundary between the eastern part of the Allocation and adjoining retained Green Belt land to the south, such as by additional woodland planting, could potentially increase the future distinction between inset land and retained Green Belt land. This could help to limit the perception of containment of, and as such weakening of, retained Green Belt land to the south.

GM44-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Ancient woodland
- Flood zone 3



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GM44-1

Area Description

Undulating farmland north of the A560 Hyde Road, adjacent to the southern edge of Hyde. With the exception of the cluster of linear housing development and car dealership along Apethorn Lane to the north and a recent development off the A560 to the east, the sub-area is open but the development along Apethorn Lane and the A560 Stockport road create some containment of the land within the sub-area. The strength of the belt of woodland on the urban edge to the north as a boundary feature is weakened by the development along Apethorn Lane. In addition, the A560 marking the edge of the sub-area with the settlement edge to the east has also been breached by existing development along its western edge, and therefore this limits the sense of distinction between the sub-area and the urbanising uses to the east. The outer boundary with adjacent retained Green Belt land is defined largely by the edge of woodland bands, including ancient woodland to the south.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Hyde is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. The sub-area is open, however the limited distinction on the urban edge and the degree of containment limit its role in preventing sprawl to a certain extent.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Release of land would reduce the gap between the towns of Hyde, Denton and Woodley, which is narrow, but where the ancient woodland belt would remain as a significant separating feature.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing this land would encroach on land which contains some development associated with the proximity of the urban area, but which is nonetheless open in character. The breaching of the distinct boundary on the urban edge contributes to the sense of encroachment on the countryside.

GM44-1

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM44-1

Impact on adjacent Green Belt

Rating: No/Negligible

Release of the sub-area, as part of the release of the Allocation as a whole, would further narrow the gap between the settlement edges of Hyde, Woodley and Denton and therefore would reduce the connectivity of adjacent retained Green Belt land with the wider Green Belt. However, due to the presence of the woodland surrounding the sub-area and the existing development along the A560, release of the land would have little overall containing impact. The release would also result in a distinct boundary between the inset settlement and retained Green Belt land, which would be defined by the belts of woodland to the west and ancient woodland to the south.

Overall harm to Green Belt purposes from release of land

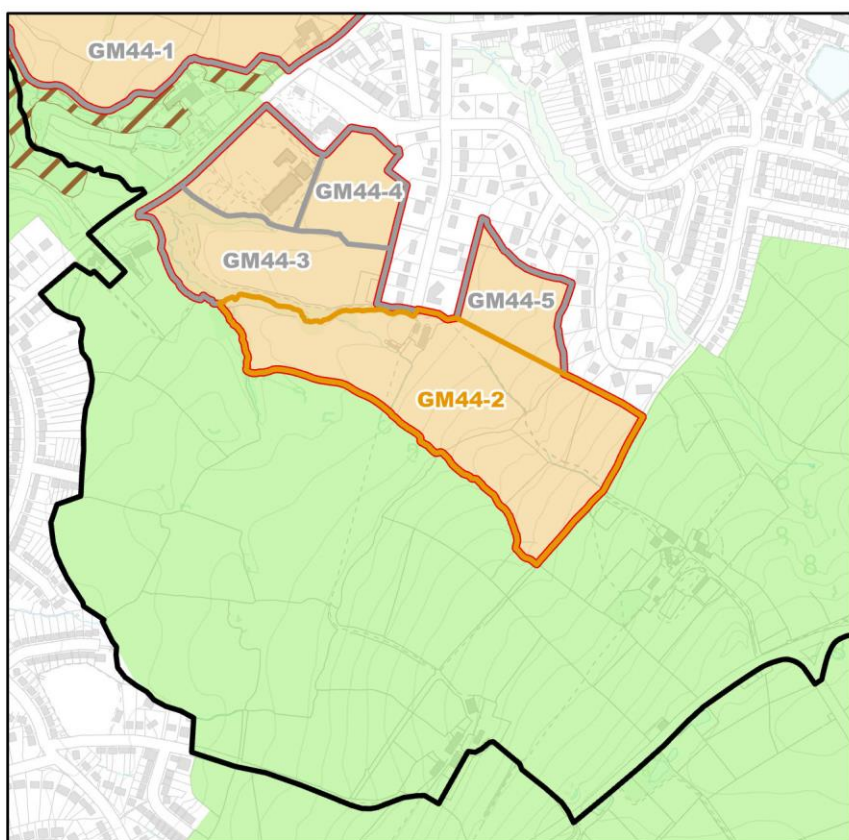
Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

GM44-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Ancient woodland



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GM44-2

Area Description

Sloping farmland, paddocks and Bowlacre Farm adjacent to the west of Hyde. The land forms a large part of the gap between the settlements of Gee Cross (Tameside) and Woodley (Stockport). The sub-area does not contain any urbanising development to diminish openness and is not significantly contained by surrounding urbanising development. Residential garden boundaries provide minimal distinction from the adjacent urban edge, and the outer boundary with retained Green Belt land is defined by tree-lined field boundaries.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Hyde is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. The sub-area's openness and relatively strong relationship with the countryside to the south contribute to its role in preventing sprawl, however the role is limited to some extent by the lack of distinction on the urban edge.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would reduce the gap between the towns of Hyde and Woodley, which are in close proximity (circa 400m at the narrowest point). However, the woodland on the western edge of the sub-area would continue to act as a separating feature that limits the perception of merging.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

The release would encroach on land which, given the absence of urbanising development and lack of containment, is perceived as countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM44-2

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM44-2

Impact on adjacent Green Belt

Rating: Minor

Release of the sub-area, as part of the release of the Allocation as a whole, would weaken the gap between the settlement edges of Hyde and Woodley by extending development southwards along a broad frontage, and would therefore cause some limited containment of retained Green Belt land lying within the gap. The release would result in no significant change in strength of distinction between the inset settlement and retained Green Belt land, which would be defined by hedgerows and a woodland belt rather than the existing residential garden boundaries.








Overall harm to Green Belt purposes from release of land

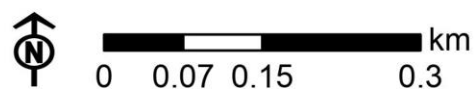
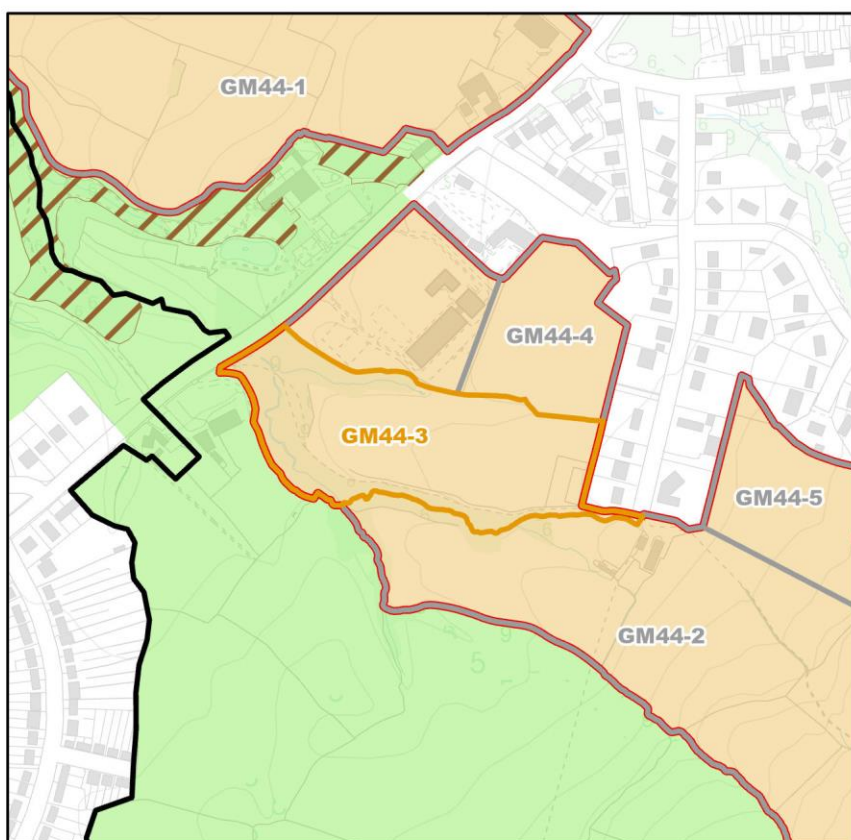
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM44-3



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Ancient woodland



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GM44-3

Area Description

Undulating farmland and a densely wooded brook lying adjacent to the west of Hyde, beyond the new housing development along the A560 Stockport Road. The sub-area contains no urbanising development to diminish openness, however the surrounding inset edges of Hyde and Woodley create a degree of urbanising containment. Residential garden boundaries, with some partial tree cover, create minimal distinction from the adjacent urban edge. The outer boundary with adjacent Green Belt land to the west defined by the wooded brook.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Hyde is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. The sub-area is open, however the limited distinction on the urban edge and degree of containment by urbanising uses limit its role in preventing sprawl to a certain extent.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would reduce the gap between the towns of Hyde and Woodley, which are in close proximity (circa 400m at the narrowest point). However, assuming that the edge of the woodland belt to the west is retained, this would continue to act as a separating feature that limits the perception of merging.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing this land would encroach on land which, despite some degree of containment, is open and retains some relationship with surrounding open countryside to the west and south.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM44-3

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM44-3

Impact on adjacent Green Belt

Rating: No/Negligible

Release of the sub-area, as part of the release of the Allocation as a whole, would slightly reduce the gap between the settlement edges of Hyde and Woodley, but the strength of its woodland and stream-defined boundary would limit any resultant weakening of the remaining Green Belt gap.









Overall harm to Green Belt purposes from release of land

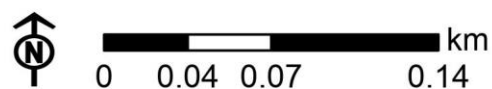
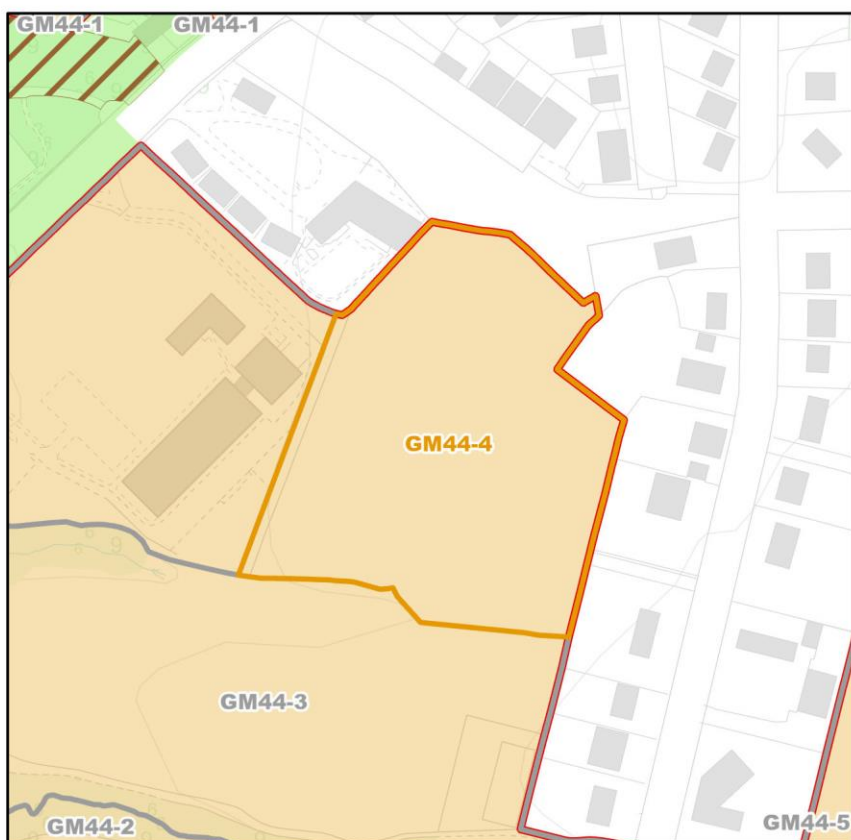
Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

GM44-4



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Ancient woodland



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GM44-4

Area Description

Relatively flat open grassland, adjacent to the western edge of Hyde. The adjoining inset edge to the north and east and the urbanising residential development to the west, washed over by the Green Belt designation, tightly contain the sub-area, creating a sense of urbanising containment. Residential garden boundaries create minimal distinction from the adjacent urban edge. There are no recognisable physical features marking the edge of the sub-area with the adjoining sub-area to the south.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

Hyde is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. However, the degree of urbanising containment and the limited distinction on the urban edge limit its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

Releasing this land would reduce the gap between the towns of Hyde and Woodley, which are in close proximity (circa 400m at the narrowest point), however releasing this sub-area would not extend the urban edge further west than existing inset development, and the woodland belt to the west acts as a separating feature that limits the perception of merging.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

Although open, the degree of urbanising containment within the sub-area and the limited distinction on the urban edge limits the extent to which this land prevents encroachment of the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM44-4

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM44-4

Impact on adjacent Green Belt

Rating: No/Negligible

Due to the extent of its own containment, releasing this sub-area would not increase the containment of any retained Green Belt land. Its release would have no bearing on the boundary distinction between retained Green Belt land and the Allocation as a whole, as the proposed new boundary is more strongly defined than the current one.



Overall harm to Green Belt purposes from release of land

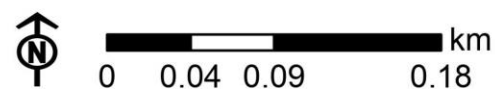
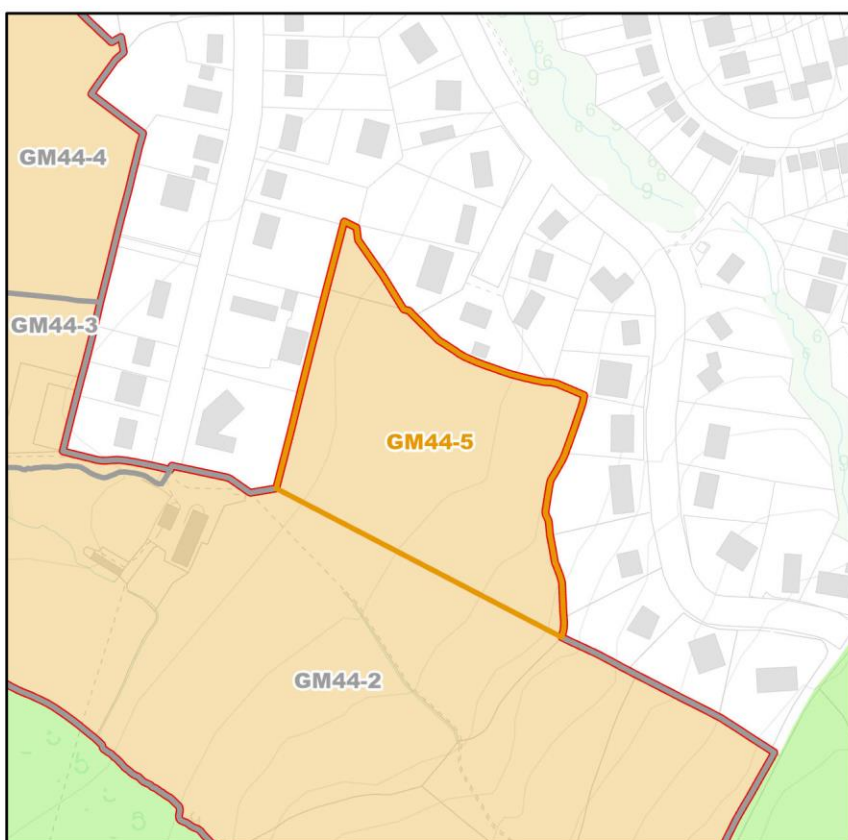
Low-Moderate

Release of the sub-area would constitute relatively limited sprawl and encroachment, and a relatively limited impact on preventing the merger of towns. It would not weaken retained Green Belt land. Harm from the release of the sub-area is therefore assessed as low-moderate.

GM44-5



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt



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GM44-5

Area Description

Square of sloping open grass land on the western edge of Gee Cross, surrounded on three sides by the inset edge. The sub-area contains no urbanising development to diminish openness, but is significantly contained by the inset edge. Tree-lined residential garden boundaries provide only minimal distinction from urbanising uses within Gee Cross. There are no recognisable physical features marking the edge of the sub-area with the adjoining sub-area to the south.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

Hyde is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. However, while the sub-area is open, its significant containment and lack of distinction from urbanising uses limit its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Limited/No

This sub-area does lie in the gap between the towns of Hyde and Woodley, which are in close proximity (circa 400m at the narrowest point), however the extent of this land's containment by the surrounding inset edge mean it does not play a significant role in preserving the gap.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

Releasing this land would encroach on land which is open but which, considering its significant containment, has a stronger association with urbanising uses within Gee Cross than with open countryside to the west.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM44-5

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM44-5

Impact on adjacent Green Belt

Rating: No/Negligible

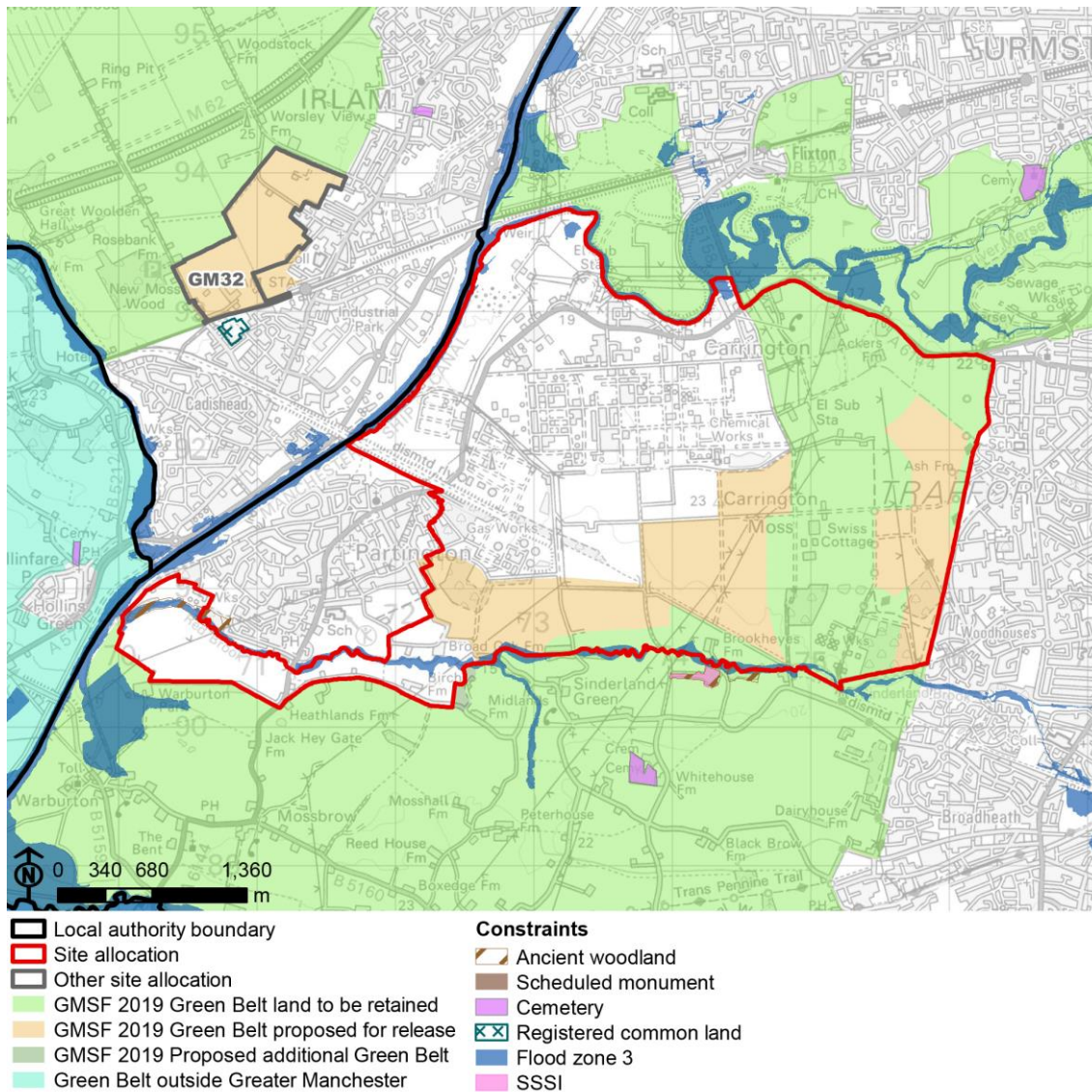
Due to the extent of its own containment, releasing this sub-area, as part of the release of the Allocation as a whole, would not increase the containment of any retained Green Belt land. Its release would have no bearing on the boundary distinction between retained Green Belt land and the Allocation as a whole, as the proposed new boundary is more strongly defined than the current one.

Overall harm to Green Belt purposes from release of land

Low-Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively limited sprawl and encroachment on the countryside. It would not weaken retained Green Belt land. Harm from the release of the sub-area is therefore assessed as low-moderate.

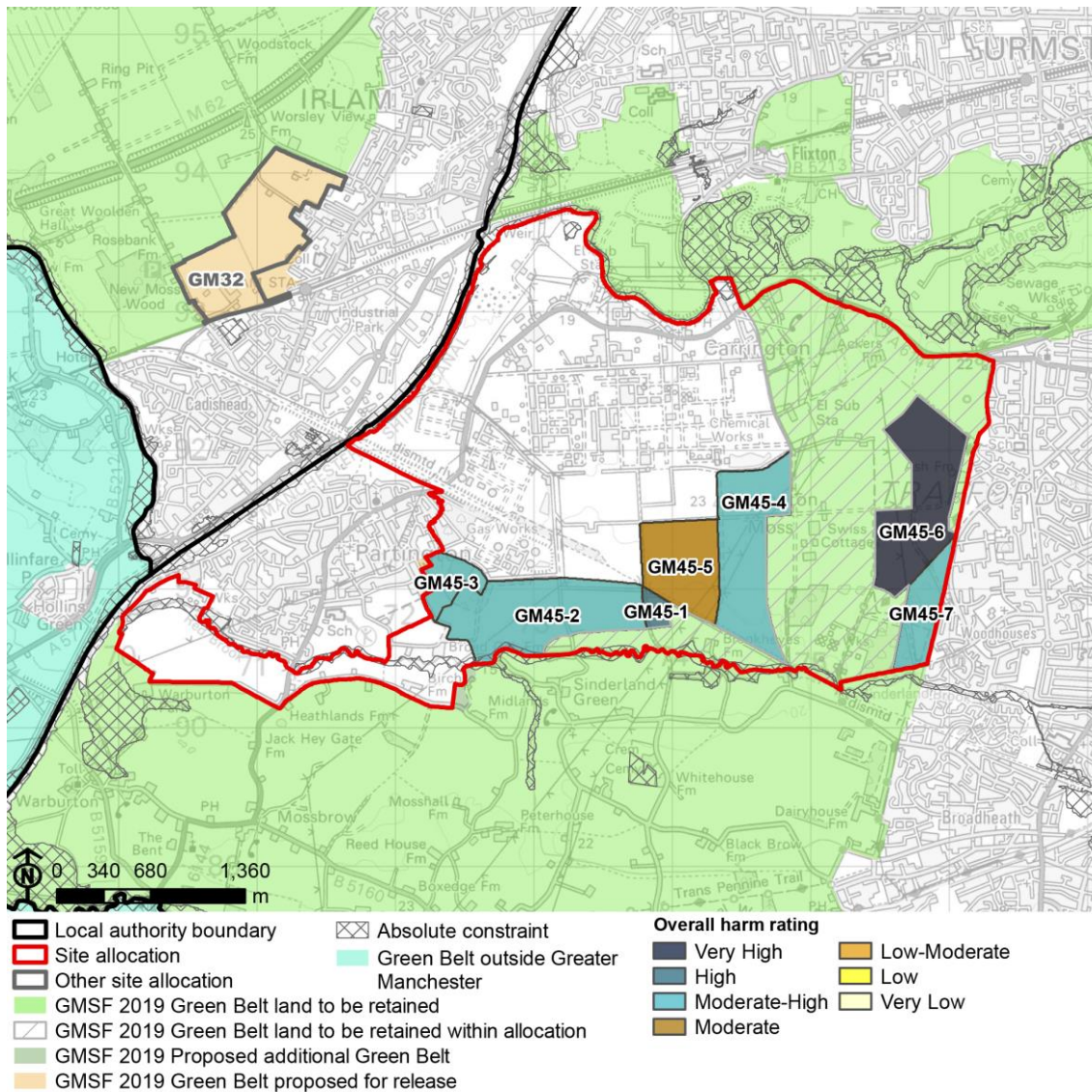
GM45 - New Carrington



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Large area of farmland lying between Carrington Industrial Estate and Sale, in the Metropolitan Borough of Trafford.

GM45



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Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|------------------|
| Very High | 55 |
| High | 4.6 |
| Moderate-High | 146.5 |
| Moderate | 34.7 |
| Retained Green Belt | 306.8 |
| Total Allocation area | 1137.7 |

Much of the Allocation is open countryside that is uncontained by urbanising development, with land in the east having greater distinction from the urban edge than the land in the west. The majority of land therefore makes either a relatively significant or significant contribution to checking the sprawl of Greater Manchester and safeguarding the countryside from encroachment. Land in the east also makes either a relatively significant or significant contribution in terms of maintaining a gap between Carrington and Sale, with land in the west making a lesser contribution.

As much of the western boundary of the sub-area adjoining the inset edge is weakly defined, release of this part of the Allocation would not significantly impact the distinction between inset land and retained Green Belt land.

Release of the eastern part of the Allocation would have a greater impact on this distinction, breaching the existing strong woodland belt boundary. A key impact of the proposed release on the remaining Green Belt in this area is on the strength of separation between Carrington and Sale. It is proposed to retain some Green Belt land within the Allocation, comprising largely of a north-south band of Green Belt. This will have the benefit of maintaining the gap between Carrington and Sale. However, this retained Green Belt land would be weakened as a result of its increased containment by released land, and by the weakening of the Green Belt boundary due to the breach of woodland to the east. As such, settlement separation would still be significantly weakened, and release of the Allocation would constitute very high harm to Green Belt purposes.

GM45

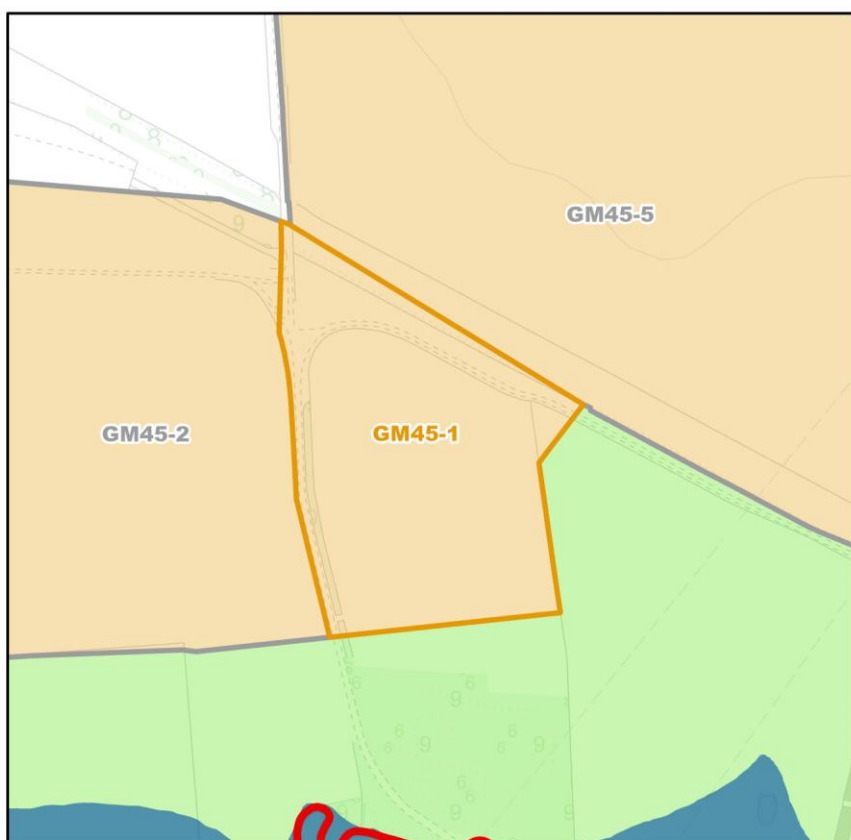
Potential to mitigate harm

Strengthening the boundaries of the retained Green Belt land within the Allocation, such as by additional woodland planting, could potentially increase the future distinction between inset land and retained Green Belt land. This could help to limit the weakening of the boundary between inset land and retained Green Belt and as such limit the weakening of the strength of this land in maintaining separation between Carrington and Sale.

GM45-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM45-1

Area Description

Farmland adjacent to the south eastern edge of Carrington. The area is open, containing no built development and is not contained by any surrounding urbanising development. The disused railway line to the north and scrub vegetation adjoining this to the northwest provide distinction from the inset edge. The outer boundary with adjacent retained Green Belt land is defined by a field boundary to the east. There is no boundary feature to define the boundary of the sub-area with adjacent retained Green Belt land immediately to the south, but a woodland block lying only a short distance beyond it provides distinction between the sub-area and the wider Green Belt to the south.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Carrington is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is open and has a strong relationship with open countryside, which contributes to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The sub-area does lie between the towns of Partington and Sale/Altrincham, but as it does not extend further east than the inset edge to the north, its role in preserving separation between the towns is limited.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

This release would encroach on land which, due to its openness, lack of containment and distinction from the inset settlement edge, is perceived as countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM45-1

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM45-1

Impact on adjacent Green Belt

Rating: Minor

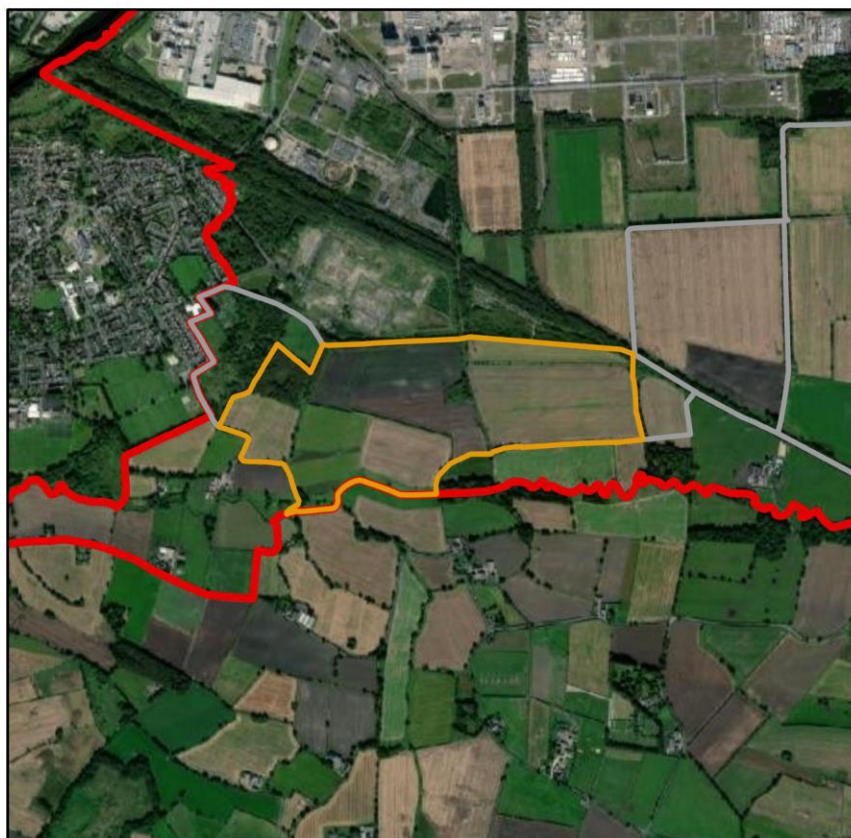
Releasing this sub-area, as part of the release of the Allocation as a whole, would not lead to significant containment of any retained Green Belt land. The release would however result in a weaker revised Green Belt boundary between the inset area and the retained Green Belt land to the south east, which is defined by a weaker field boundary.

Overall harm to Green Belt purposes from release of land

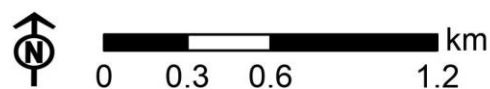
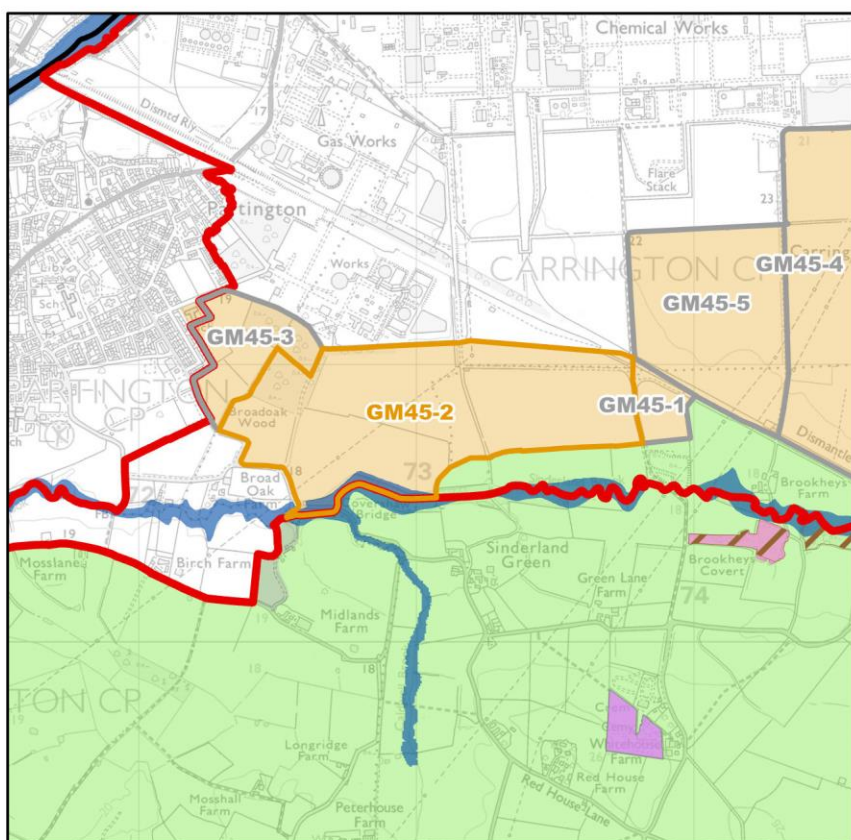
High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. It would constitute a minor weakening of adjacent retained Green Belt land. Harm from the release of the sub-area is therefore assessed as high.

GM45-2



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Ancient woodland
- Cemetery
- Flood zone 3
- SSSI



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GM45-2

Area Description

Area of flat farmland with blocks of tree cover in the west, adjacent to the southern edge of Carrington and the eastern edge of Partington. The sub-area contains no urbanising development to diminish openness, and tree cover at Broadoak Wood, along Heath Farm Lane and adjacent to the former railway line creates some distinction from the adjacent urban edge. There is a limited degree of containment, with inset edges both to the north and the west. It is noted that the latter is currently designated as Protected Open Land, but as it does not have the protection of Green Belt status it is still considered to have a containing influence. The outer boundary with retained Green Belt land is defined by a combination of field boundaries to the southeast and the wooded Sinderland brook to the southwest.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Partington is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is free of urbanising uses and the degree of distinction provided by tree cover on the inset contributes to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The sub-area does lie between the towns of Partington and Sale/Altrincham and is open, but is more closely related to the former. Because this sub-area does not extend further east than the inset edge to the north, its role in preserving separation between the towns is limited.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

This release would encroach on land which, given the absence of urbanising development, is generally perceived as countryside.

GM45-2

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM45-2

Impact on adjacent Green Belt

Rating: Minor

As the sub-area has a degree of containment itself, its release, as part of the release of the Allocation as a whole, would not significantly increase the containment of adjoining retained Green Belt land to the south and southeast. The release would however result in a slightly weaker distinction between the inset settlement and adjacent Green Belt land, which although defined in part by Sinderland Brook and in part by field boundaries would no longer benefit from mature tree cover.




Overall harm to Green Belt purposes from release of land

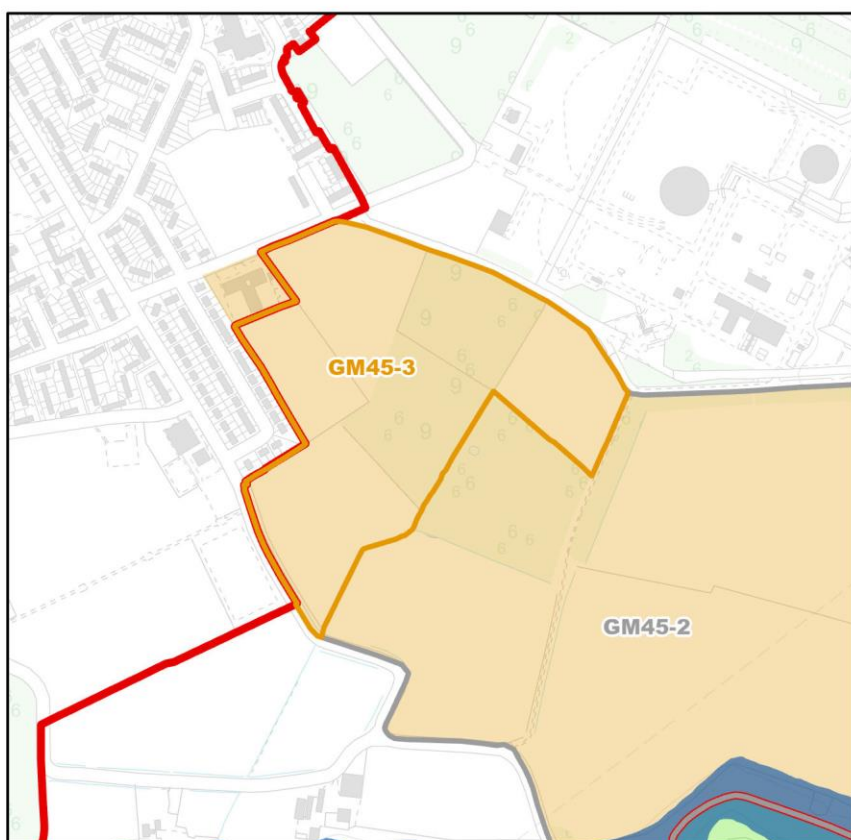
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM45-3



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM45-3

Area Description

Area of scrubland and scattered tree cover adjacent to the eastern edge of Partington. The sub-area contains no urbanising development to diminish openness, but the surrounding inset edge creates a degree of urbanising containment. Residential garden boundaries and minor roads provide only minimal distinction from urbanising uses within Partington. The edge of the woodland block at Broadoak Wood and field boundaries provide some limited distinction from the wider retained Green Belt land lying beyond the Allocation to the southeast.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Partington is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is relatively open, however the degree of containment and lack of distinction with urbanising uses to the west limit its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The sub-area does lie between the towns of Partington and Sale/Altrincham and has some openness, but is more closely related to the former. Because this sub-area does not extend further east than the inset edge to the north, its role in preserving separation between the towns is limited.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

This release would encroach on land which is open and has a relatively strong relationship with surrounding open countryside, however the degree of containment limits the extent to which it can be considered open countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM45-3

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM45-3

Impact on adjacent Green Belt

Rating: Minor

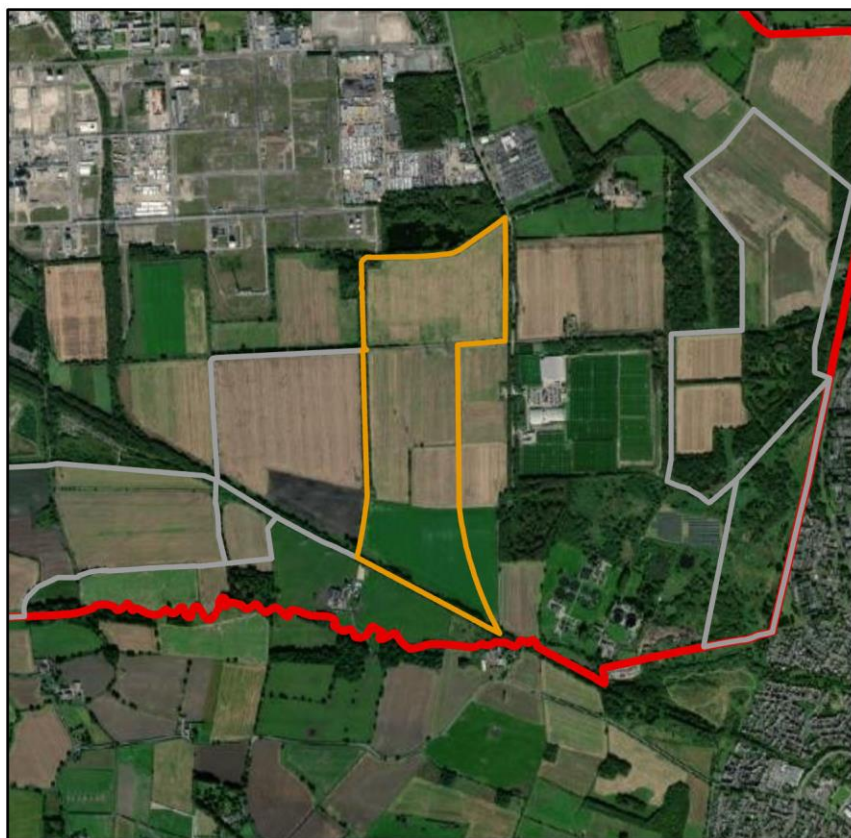
Release of the sub-area, as part of the release of the Allocation as a whole, would result in the Green Belt land at the school site to the northwest of the sub-area to become entirely contained and separated from the wider Green Belt. However, as this land does not contribute more strongly to the Green Belt purposes, this does not increase the harm of release. As a result of its own containment, release of this sub-area, as part of the release of the Allocation as a whole, would not lead to the increased containment of any other retained Green Belt land, but loss of the tree cover provided by Broad Oak Wood would constitute a weakening of distinction between the inset settlement and the retained Green Belt.

Overall harm to Green Belt purposes from release of land

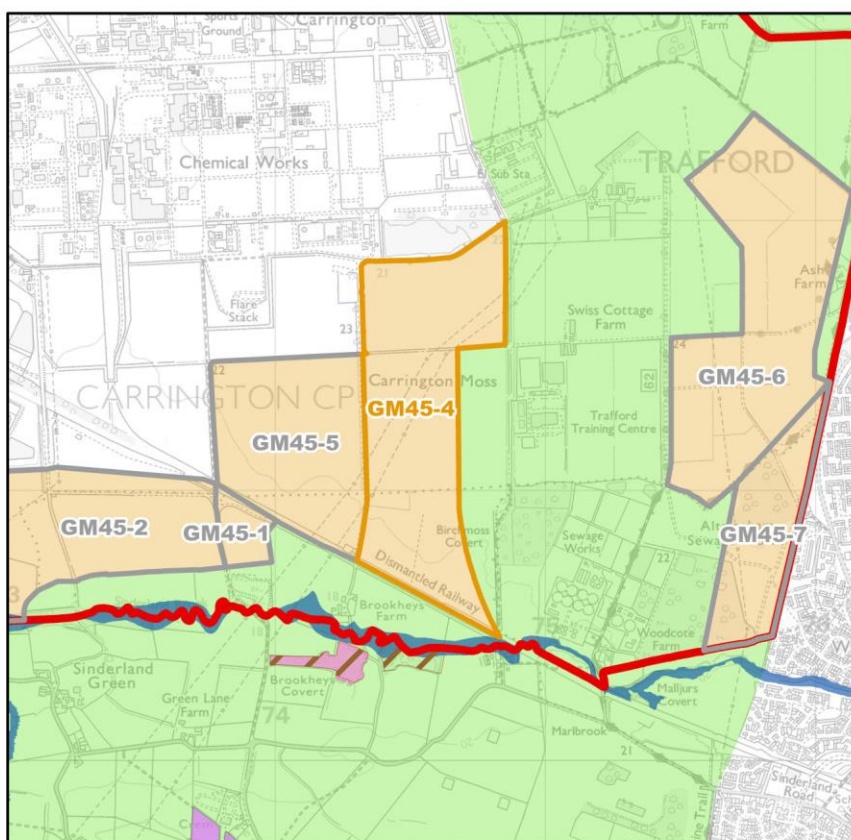
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant encroachment on the countryside, moderate sprawl and a relatively limited impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM45-4



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Ancient woodland
- Cemetery
- Flood zone 3
- SSSI



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GM45-4

Area Description

Farmland adjacent to the southern edge of Carrington. The sub-area is open and is not contained by any surrounding urbanising development. Field boundaries provide minimal distinction from the inset edge. The outer boundary with adjacent retained Green Belt land to the south is defined by the disused railway line, whilst the boundary with the retained Green Belt land to the east is largely undefined, with the exception of the field boundary alongside Birch Road to the north of its intersection with Ashton Road.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Carrington is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is open and has a strong relationship with open countryside, but its tree-line boundaries with the inset edge do not create strong distinction from the urban area.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would reduce the gap between the towns of Carrington and Sale, which is narrow, however the fact that the sub-area would only extend as far east as the inset edge to the north limits its role in preserving the gap between the two.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

This release would encroach on land which, due to its openness and lack of containment, is generally perceived as countryside, but which lacks strong distinction from the inset area.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM45-4

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM45-4

Impact on adjacent Green Belt

Rating: Minor

Releasing this sub-area, as part of the release of the Allocation as a whole, would lead to some degree of containment of retained Green Belt land, by narrowing the gap with the settlement edge of Sale to the east. The release would result in a revised Green Belt boundary that is of similar strength to the existing boundary at its northern end, alongside Birch Road, and along the disused railway line to the south. The retained strip of Green Belt to the west of Birch Road, which lacks a defined boundary feature, would make a weaker contribution to the Green Belt purposes than it does at present, but this loss of contribution would not increase overall harm to the Green Belt purposes above that associated with release of the rest of this sub-area.

Overall harm to Green Belt purposes from release of land

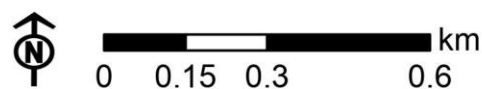
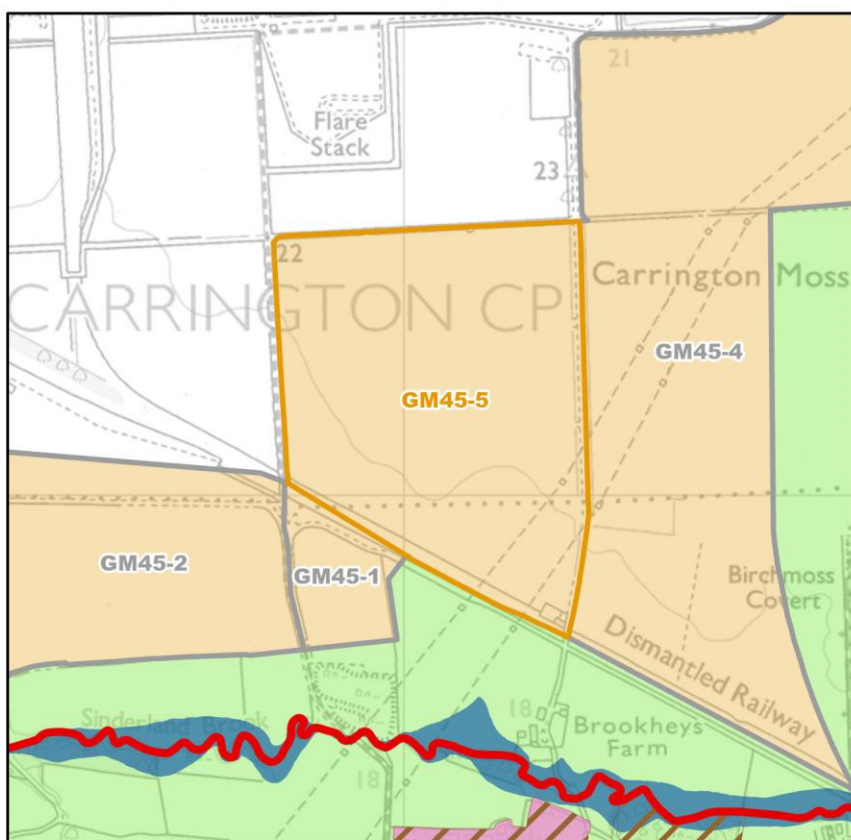
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM45-5



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Ancient woodland
- Flood zone 3
- SSSI



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GM45-5

Area Description

Open field lying on the southern edge of Carrington, between the minor Ashton Road and a tree-lined disused railway line. The sub-area contains no urbanising development to diminish openness, but the surrounding inset edge of Carrington to the north creates a degree of urbanising containment, despite the absence of existing development within the inset land. Minor Road (Ashton Road and Dunham Road) provide minimal distinction on the inset edge. The outer boundary with adjacent retained Green Belt land is defined by the disused railway line to the south.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Carrington is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is open and has a relationship with open countryside to the south, however the lack of distinction on the inset edge limits to an extent its role in acting in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

This land lies in the gap between the towns of Carrington and Sale, which is narrow, however its own containment and the fact that the sub-area would only extend as far east as the inset edge to the north limits its role in preserving the gap between the two.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

This release would encroach on land which is open, but where the degree of containment limit to an extent the degree to which it can be considered open countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM45-5

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM45-5

Impact on adjacent Green Belt

Rating: No/Negligible

Due to the extent of its own containment, release of the sub-area, as part of the release of the Allocation as a whole, would not lead to the increased containment of any retained Green Belt land. The release would make no significant difference in the strength of distinction between the inset edge and adjacent retained Green Belt land to the south, which would be defined by the disused railway line, rather than existing minor roads. The release would also have a negligible bearing on the strength of retained Green Belt land to the east, as the minor tracks along the eastern edge of the sub-area create some distinction between the sub-area and those parts of the Allocation area that adjoin the retained Green Belt to the east.

Overall harm to Green Belt purposes from release of land

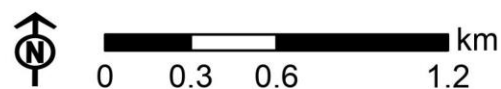
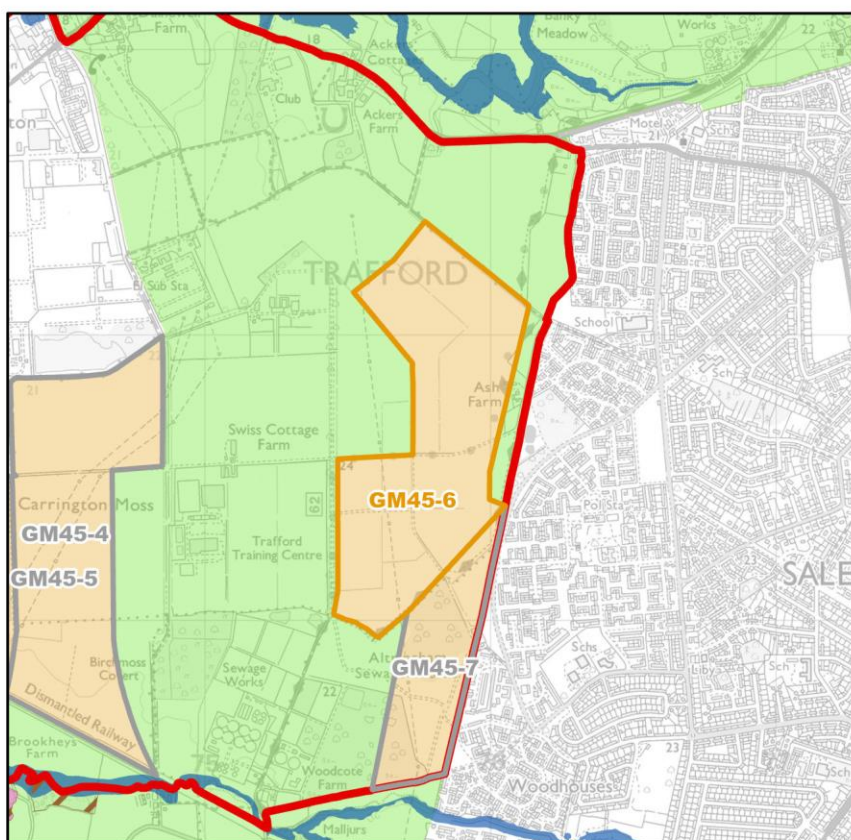
Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

GM45-6



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Ancient woodland
- Flood zone 3
- SSSI



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GM45-6

Area Description

Flat farmland and woodland blocks adjacent to the western edge of Sale. The sub-area contains no urbanising development to diminish openness, and is uncontained by surrounding urbanising development. Relatively dense tree cover on the urban edge provides a sense of distinction from urbanising uses within Sale. The outer boundary with retained Green Belt land is largely defined by field boundaries, some tree cover, and lanes, although in some locations there are no defined boundary features. The edge of woodland blocks in the south of the sub-area define the boundary with the adjoining sub-area to the south.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Sale is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is open and has distinction from the urban edge, contributing to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Significant

Releasing this sub-area would significantly reduce the existing Green Belt gap between the towns of Carrington and Sale, which are currently distinct.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

This release would encroach on land which, given the absence of urbanising uses, lack of containment and strong inset edge boundary, is perceived as countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM45-6

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM45-6

Impact on adjacent Green Belt

Rating: Moderate

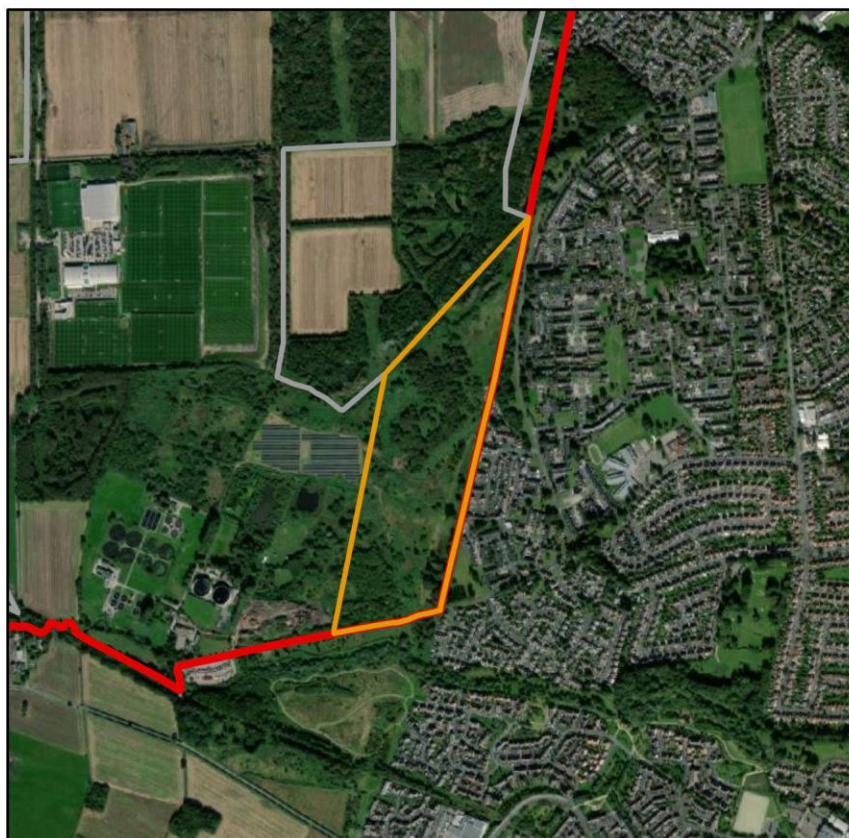
Releasing this sub-area, as part of the release of the Allocation as a whole, would further contain land in the Green Belt gap between Carrington and Sale, leading to some reduction in the connectivity of retained Green Belt land. The release would also lead to a weakening of the Green Belt boundary, which would subsequently become more convoluted and defined by a combination of field boundaries, some tree cover, and lanes, although in some locations there would be no defined boundary features.

Overall harm to Green Belt purposes from release of land

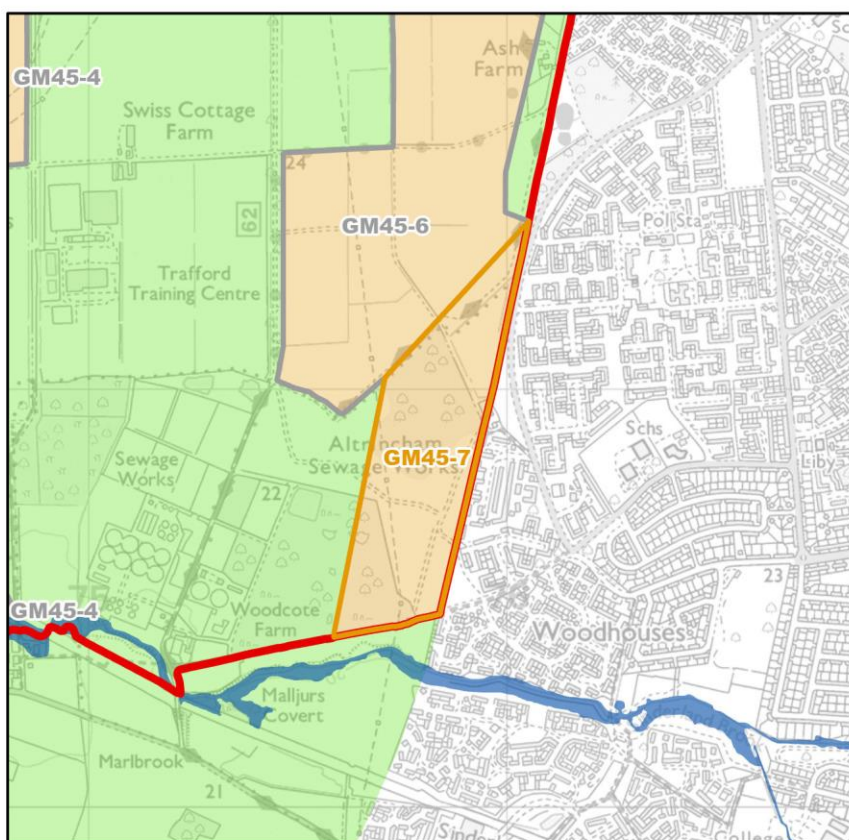
Very High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute a significant impact on preventing the merger of towns, and relatively significant sprawl and encroachment on the countryside. It would constitute a moderate weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as very high.

GM45-7



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM45-7

Area Description

Grassland, scrub vegetation and some tree cover, adjacent to the western edge of Sale. The sub-area contains no urbanising development to diminish openness, and is uncontained by surrounding urbanising development. Tree-lines along the urban edge to the east create some degree of distinction between the sub-area and the adjacent inset settlement, however in some parts only residential garden boundaries mark the edge, which provide little distinction. There are no clear boundary features to mark the edge of the sub-area with retained Green Belt within the Allocation to the west, whilst a lane marks the edge of the sub-area with retained Green Belt land outside of the Allocation to the south. The edge of woodland blocks to the north define the boundary with the adjoining sub-area to the north.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Sale is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is open and is uncontained, however the lack of distinction from the urban edge limits the role of this land in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would reduce the gap between the towns of Carrington and Sale, however the sub-area is located south of the narrow part of this gap. As such, the land has a slightly more limited role in preserving the gap between the two.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

The sub-area is open, uncontained and perceived as countryside. However, the lack of distinction from the urban edge limits the role of this land in preventing encroachment on the countryside.

GM45-7

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM45-7

Impact on adjacent Green Belt

Rating: No/Negligible

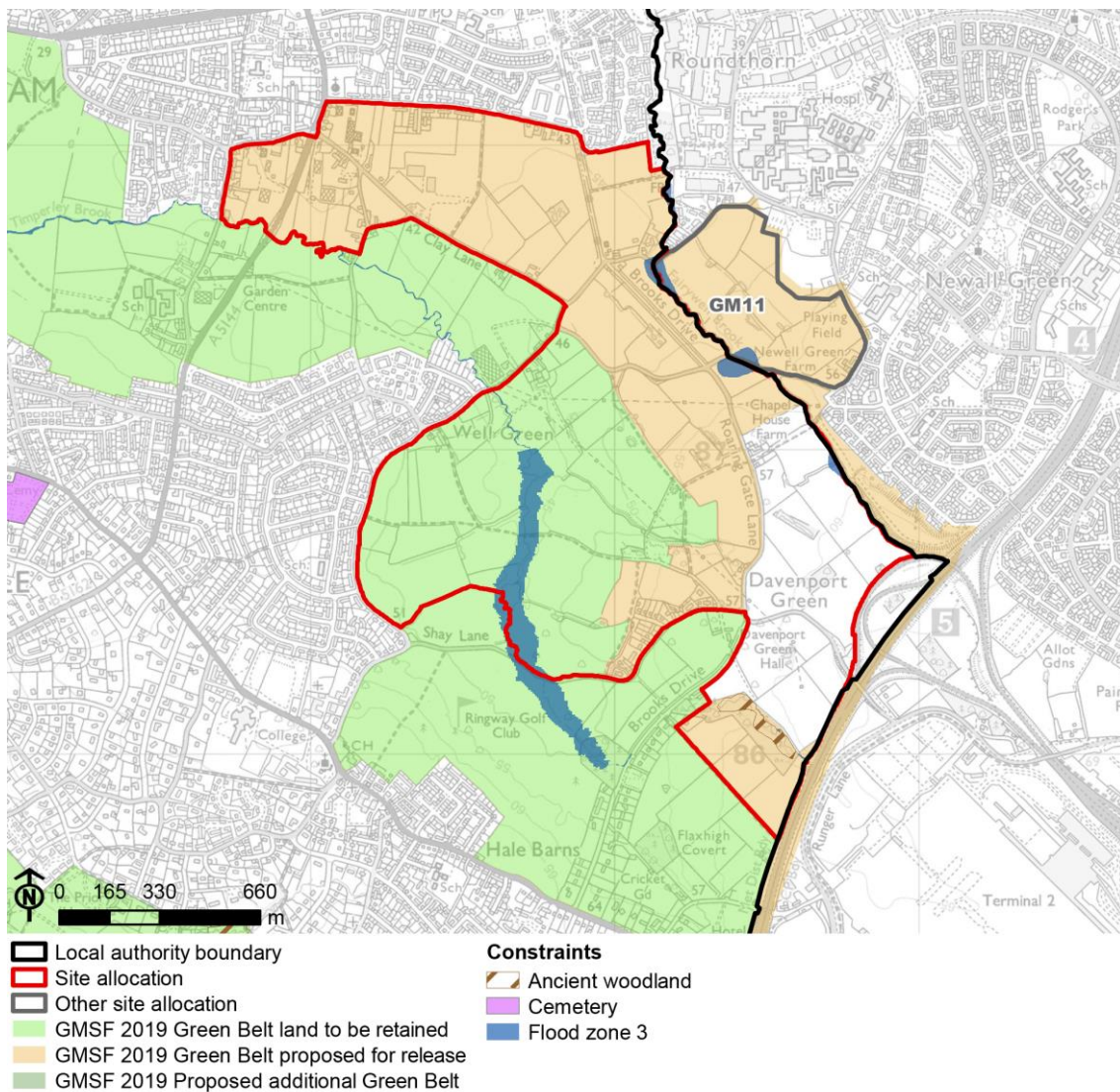
Release of this sub-area would not significantly increase the containment of any retained Green Belt land. In addition, as the existing urban edge is already relatively weakly bound, release would result in a Green Belt boundary of similar strength.

Overall harm to Green Belt purposes from release of land

Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a relatively significant impact on preventing the merger of towns. It would constitute a negligible weakening of adjacent retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

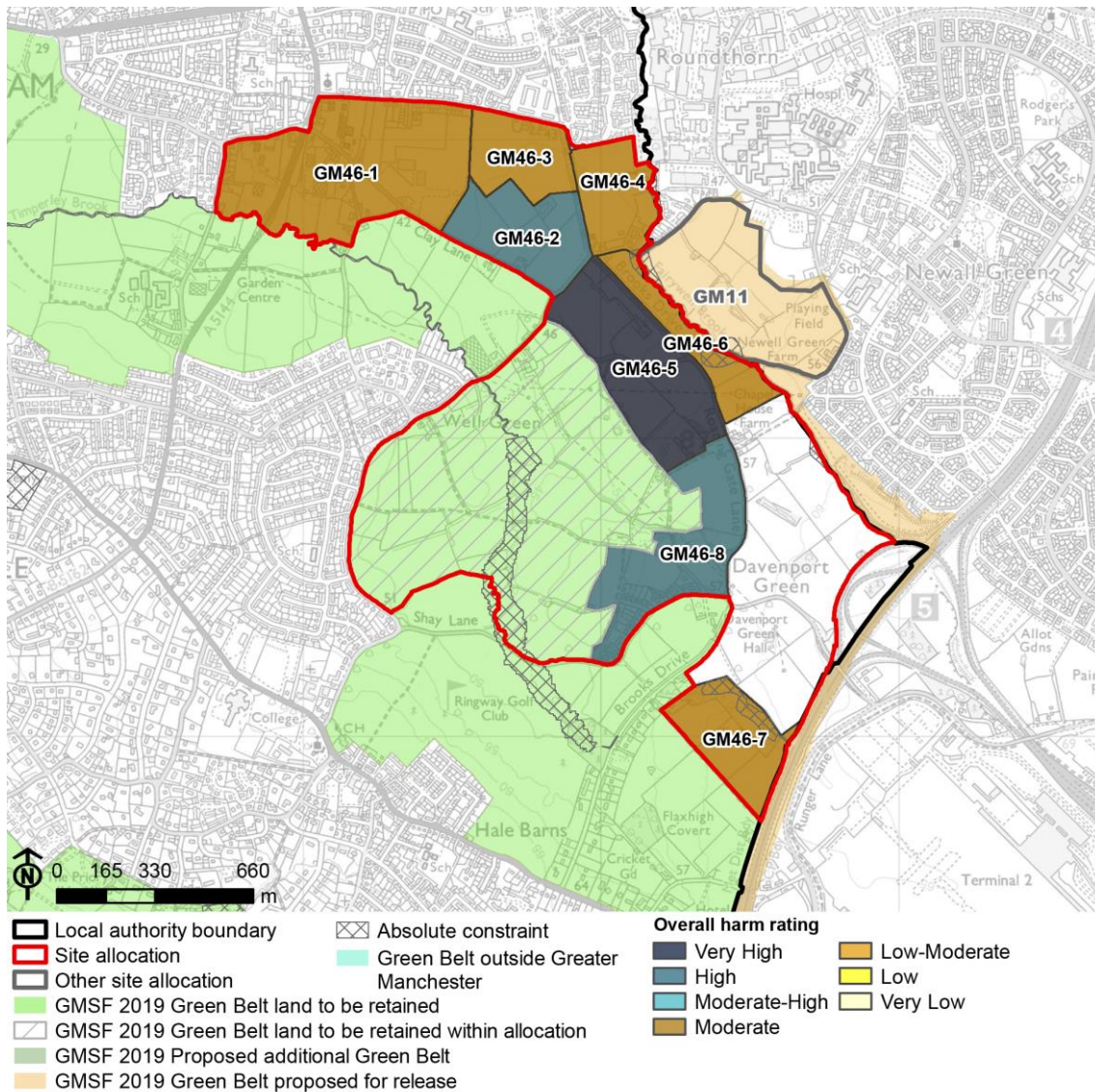
GM46 - Timperley Wedge



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Farmland lying between Timperley, Newall Green and Hale, within the Metropolitan Borough of Trafford.

GM46



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GM46

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Very High | 19.6 |
| High | 28.7 |
| Moderate | 65.9 |
| Retained Green Belt | 73.9 |
| Total Allocation area | 225 |

GM46 is split into eight sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation predominantly comprises of open fields, however some scattered urbanising uses in the northwest and along Shay Lane in the south create localised areas of urbanising influence. The urban edge, which for the most part does not have strong boundary features, creates a degree of urbanising containment along the edges of the Allocation, but the scale of open land within the centre of the Allocation limits this sense of containment, and intervening boundary features create stronger distinction from the urban area. The majority of land within the Allocation therefore makes a relatively significant or significant contribution to preventing the sprawl of Greater Manchester, maintaining the separation of Wythenshawe/Timperley and Hale, and protecting the countryside from encroachment.

Release of the Allocation would result in some weakening of the Green Belt boundaries. It is proposed to retain a sizeable area of land within the west of the Allocation as Green Belt, maintaining a gap between Wythenshawe/Timperley and Hale, but release of land within the Allocation would nonetheless increase containment of and weaken this retained Green Belt land at its narrower points. This would weaken the gap between Wythenshawe/Timperley and Hale and would weaken the connectivity of the wider Green Belt. Release of the Allocation would constitute very high harm to Green Belt purposes.

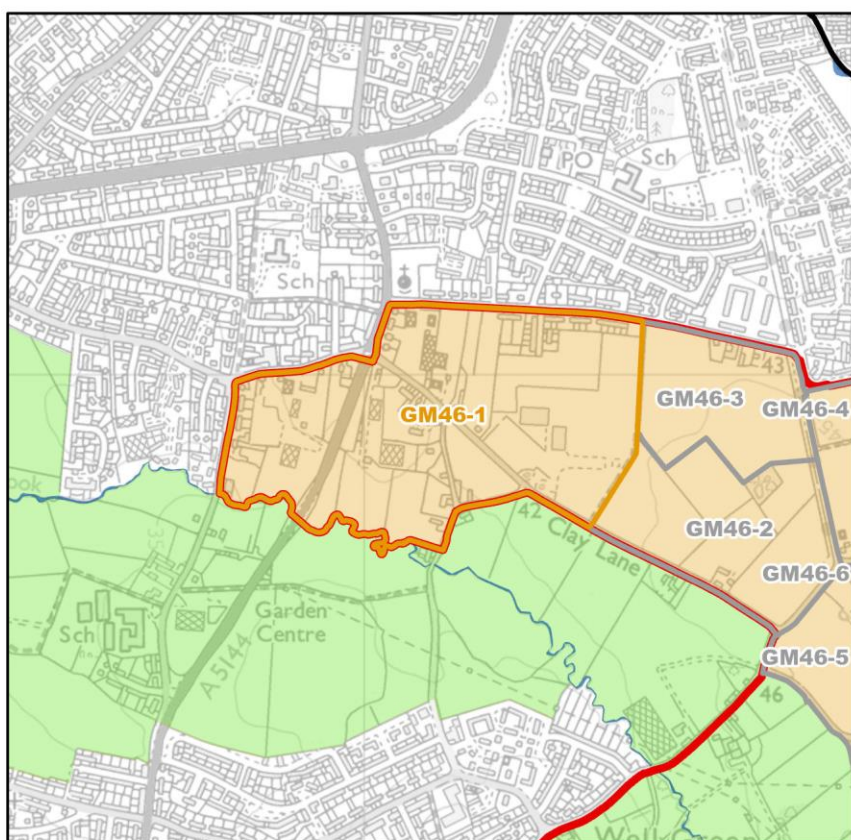
Potential to mitigate harm

Strengthening the boundaries of the retained Green Belt land adjoining and within the Allocation, such as by woodland planting, could potentially increase the future distinction between inset land and retained Green Belt land. This could help to limit the weakening of the boundary between inset land and retained Green Belt and as such limit the weakening of the strength of this land in maintaining separation between Wythenshawe/Timperley and Hale.

GM46-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM46-1

Area Description

Area of land adjacent to the southern edge of Timperley. The sub-area contains scattered urbanising uses including small-scale commercial uses and residential development, interspersed with tree cover, however sizeable areas remain undeveloped, allowing for some relationship with adjacent open land. The settlement edge of Timperley and surrounding washed over development create a degree of urbanising containment within the sub-area. The inset edge to the north and west is bound by minor roads (Green Lane and Wood Lane), providing some limited distinction from the urban edge of Timperley, however residential development has breached these boundaries in both cases and the scale of development within the inset settlement limits any sense of separation. The outer boundary with retained Green Belt land is defined by the tree-lined Timperley Brook, field boundaries and a stretch of minor road.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Limited

Timperley is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. However, the fact that existing development in Timperley has breached the urban edge limits the sub-area's role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The release of this land would reduce the gap between the towns of Timperley and Hale, which are distinct but very close (circa 500m). However, the settlements are already linked to a degree by washed over development around Altringham College along Thorley Lane, and the urbanising development within the sub-area limit the land's role in preventing sprawl.

GM46-1

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Limited

Releasing this sub-area would encroach on land which is characterised by development that, although some of it may be an 'acceptable' use of Green Belt, is partially developed and more strongly associated with the urban area than with open countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Releasing this land would detract from the wider setting of the historic settlements of Hale and Northenden but, due to its location, low-lying setting and visual screening (by development, roads, trees etc), would not diminish the components important to their historic character.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM46-1

Impact on adjacent Green Belt

Rating: Minor

Releasing this land, as part of the release of the Allocation as a whole, would increase the containment of retained Green Belt land lying to the south of the sub-area. However, it would result in the Green Belt boundary running in large part along Timperley Brook in the south, resulting in a relatively distinct boundary between the inset edge and retained Green Belt land.

Overall harm to Green Belt purposes from release of land

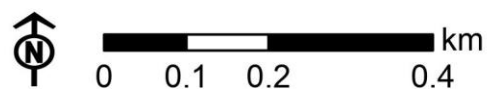
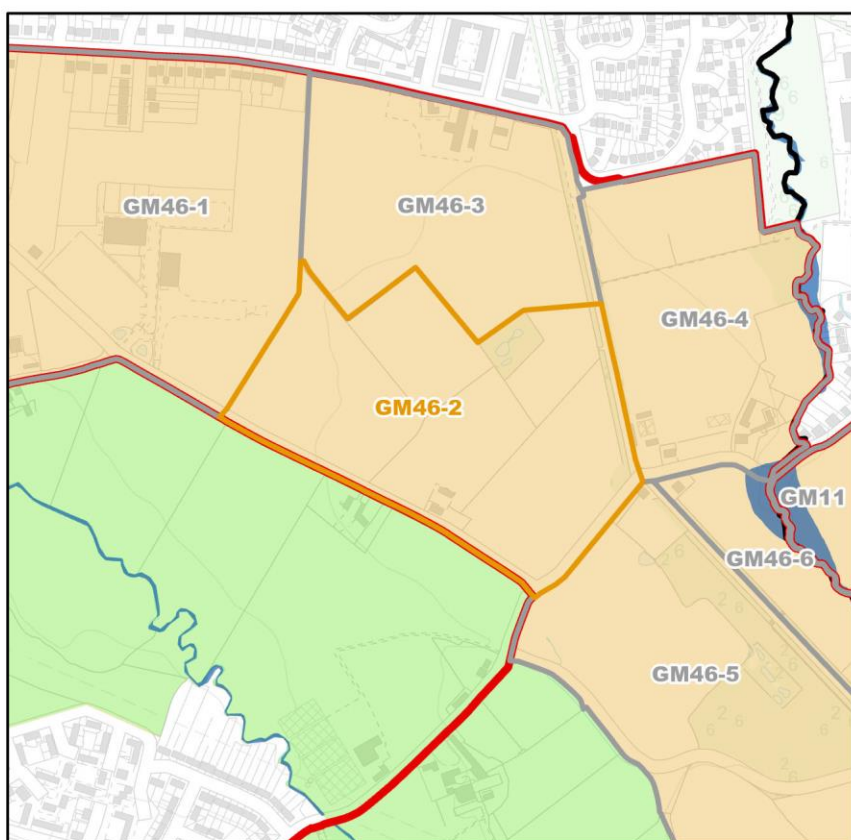
Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively limited sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

GM46-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM46-2

Area Description

Patchwork of fields and cluster of agricultural buildings lying between the southern edge of Timperley and Clay Lane, which forms its southern boundary with adjoining retained Green Belt land. There are no urbanising influences within the sub-area to diminish openness, however the surrounding urban edges and washed over development to the west create a degree of urbanising containment. Field boundaries provide minimal distinction from the sub-area and inset edge beyond to the north, while a tree-lined cycleway provides some distinction from the sub-area and inset edge beyond to the east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Timperley is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. However despite the sub-area's openness, the only partial distinction on the urban edge limits to an extent this land's role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would reduce the gap between the towns of Hale and Broomwood, which is already narrow. The existing degree of urbanising containment in this sub-area limits this land's role in preserving the gap, but only to a limited extent.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

This sub-area is free of urbanising development and has a degree of containment by inset edges, giving it a relatively stronger relationship with surrounding open land than with urbanising uses.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Despite its proximity to the historic settlements of Hale and Northenden, this sub-area does not make a significant contribution to the setting of either.

GM46-2

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM46-2

Impact on adjacent Green Belt

Rating: Minor

Releasing this sub-area, as part of the release of the Allocation as a whole, would further increase the containment of retained Green Belt land lying to the south of the sub-area, weakening retained Green Belt connectivity in the wider area. The release would however result in no weakening of distinction between the inset edge and retained Green Belt land: Clay Lane is a stronger boundary than Ridgeway Road, which has already been breached by washed-over but urbanising development to the west of this sub-area.

Overall harm to Green Belt purposes from release of land

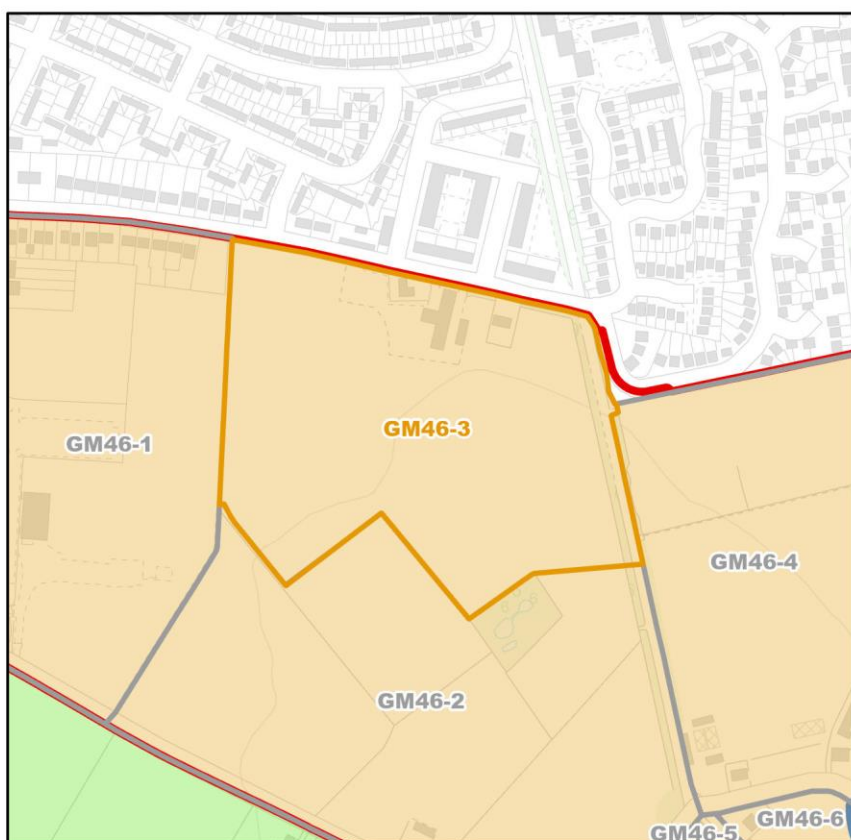
High

Release of the sub-area, as part of the release of the Allocation as a whole, would have constitute relatively significant sprawl and encroachment on the countryside, and a relatively significant impact on preventing the merger of towns. The release would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as high.

GM46-3



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM46-3

Area Description

Gently sloping farmland and cluster of agricultural buildings adjacent to the southern edge of Timperley. The sub-area contains no urbanising development to diminish openness, but there is a degree of urbanising containment associated with the inset edge to the north in combination with washed-over development on land to the west. Ridgeway Road provides some limited distinction from urbanising uses within Timperley, but elsewhere has been breached by residential development, weakening its consistency. The outer boundaries with adjacent sub-areas are defined by field boundaries and the edge of a small woodland block.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Timperley is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. However the sense of containment and only limited distinction on the urban edge limits to an extent the sub-area's role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would reduce the gap between the towns of Hale and Broomwood, which are close, however the existing containment of the sub-area by the inset edge limits to an extent the role of this land.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this land would encroach on land which is open and, despite a degree of containment, retains a relatively strong relationship with adjacent open land.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Despite its proximity to the historic settlements of Hale and Northenden, this sub-area does not make a significant contribution to the setting of either.

GM46-3

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM46-3

Impact on adjacent Green Belt

Rating: No/Negligible

Releasing this sub-area, as part of the release of the Allocation as a whole, would not increase the containment of retained Green Belt land. Its release would not contribute to any weakening of boundary distinction, as the Allocation boundary along Clay Lane is a stronger boundary than Ridgeway Road, which has already been breached by washed-over but urbanising development to the west of this sub-area.

Overall harm to Green Belt purposes from release of land

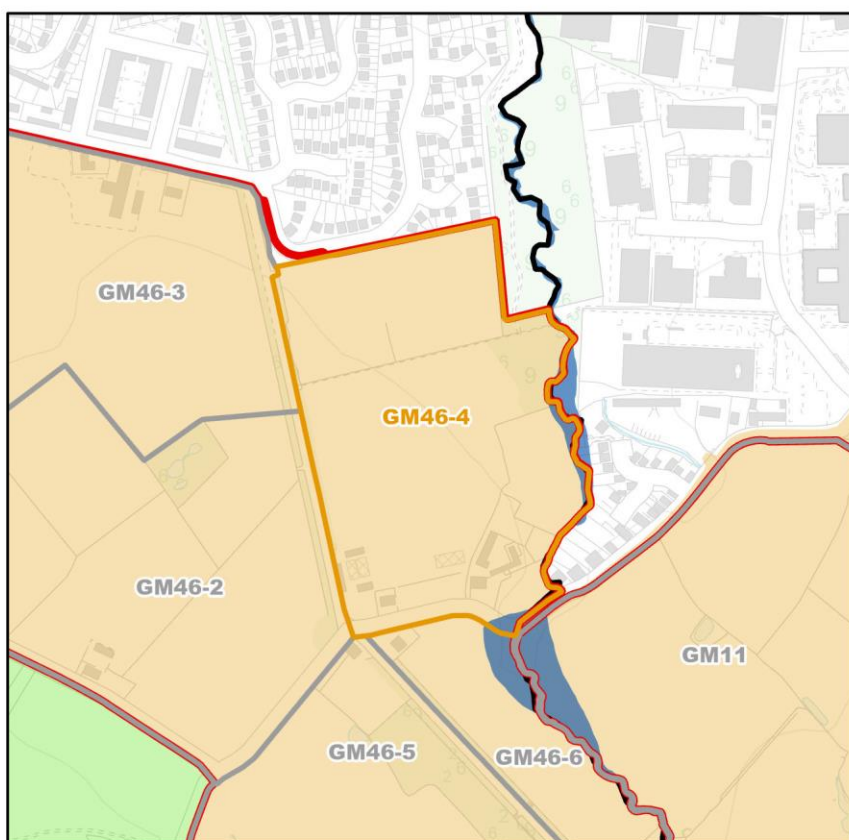
Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. The release would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

GM46-4



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Flood zone 3



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GM46-4

Area Description

Relatively flat open fields and clusters of agricultural buildings, adjacent to the southern edge of Timperley. The sub-area contains no urbanising development to diminish openness but the surrounding inset edge creates a degree of urbanising containment. Tree cover provides some sense of distinction from urbanising uses to the east, however elsewhere residential garden boundaries provide minimal distinction. A tree-lined cycleway and a minor road define the edges of the sub-area with the wider Allocation.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Timperley forms part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. The sub-area is open, however the only partial distinction on the urban edge limits to some extent its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this sub-area would slightly reduce the gap between the neighbouring towns of Wythenshawe and Hale, which although to a degree linked are largely distinct with no significant separating features lying between them. However the release would not significantly project the existing urban edge further west than it is at present, limiting the role of this land.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this land would encroach on land which, due to its openness and partial distinction from adjacent urbanising uses, is perceived as countryside and has some relationship with open land to the west.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The land does not make a significant contribution to the setting of any historic town.

GM46-4

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM46-4

Impact on adjacent Green Belt

Rating: No/Negligible

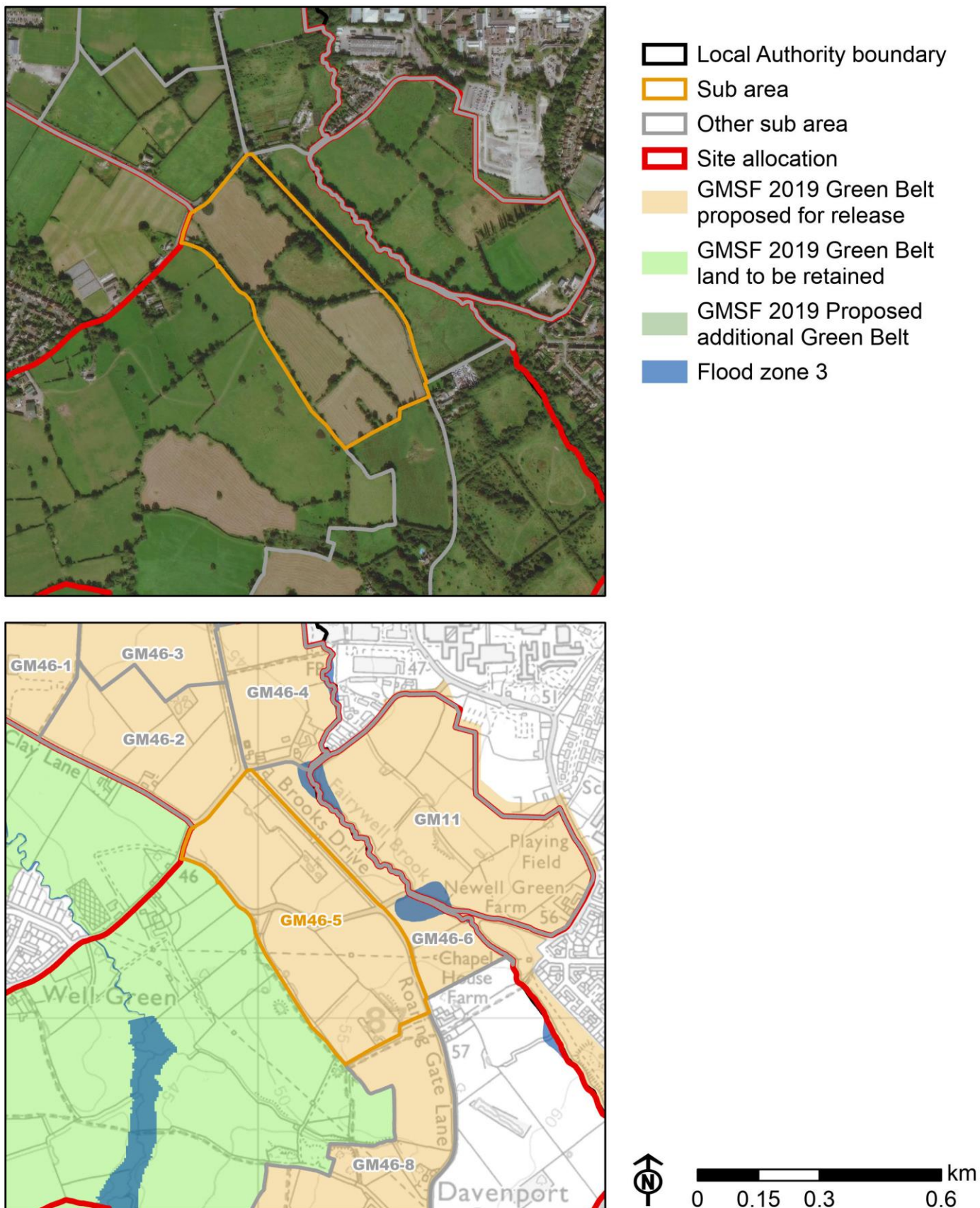
Releasing this sub-area, as part of the release of the Allocation as a whole, would not increase the containment of any retained Green Belt land. In addition, release would have no bearing on the strength of retained Green Belt land, as the tree-lined cycleway and minor road bounding the edges of the sub-area create distinction between the sub-area and those parts of the Allocation area that adjoin the retained Green Belt.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the sub-area would constitute relatively significant sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. The release would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

GM46-5



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GM46-5

Area Description

Gently undulating farmland lying between Wythenshawe and Hale. The land is open and does not contain any urbanising development. The sub-area is within an area surrounded by existing urban development, but the size of the area is such that land within it is not considered to be weakened by urban containment, and development within the sub-area would be perceived as sprawl. Minor roads, a tree-lined former railway line and intervening well-treed fields create distinction from the urban edge of Newall Green to the northeast and east, whilst the outer boundary with retained Green Belt land to the west is defined by field boundaries.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Wythenshawe and Hale are both part of the Greater Manchester large built-up area, so development expanding this sub-area would constitute sprawl. The sub-area is open and uncontained, contributing to its important role in preventing unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Significant

The release of this land would reduce the critical gap between the towns of Hale and Wythenshawe, which are currently distinct.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

Releasing this sub-area would encroach on land which is open and uncontained in character, and perceived as countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Releasing this land would detract from the wider setting of the historic settlements of Hale and Northenden but, due to its location, low-lying setting and visual screening (by development, roads, trees etc), would not diminish the components important to their historic character.

GM46-5

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM46-5

Impact on adjacent Green Belt

Rating: Moderate

Releasing this sub-area, as part of the release of the Allocation as a whole, would however increase the containment of land to the northwest, weakening retained Green Belt connectivity in the wider area. In addition, release of the sub-area, as part of the release of the Allocation as a whole, would result in a weaker distinction between inset settlement and retained Green Belt land, with the boundary defined by field boundaries.




Overall harm to Green Belt purposes from release of land

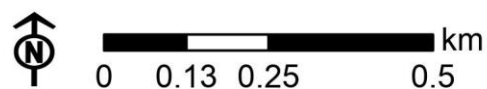
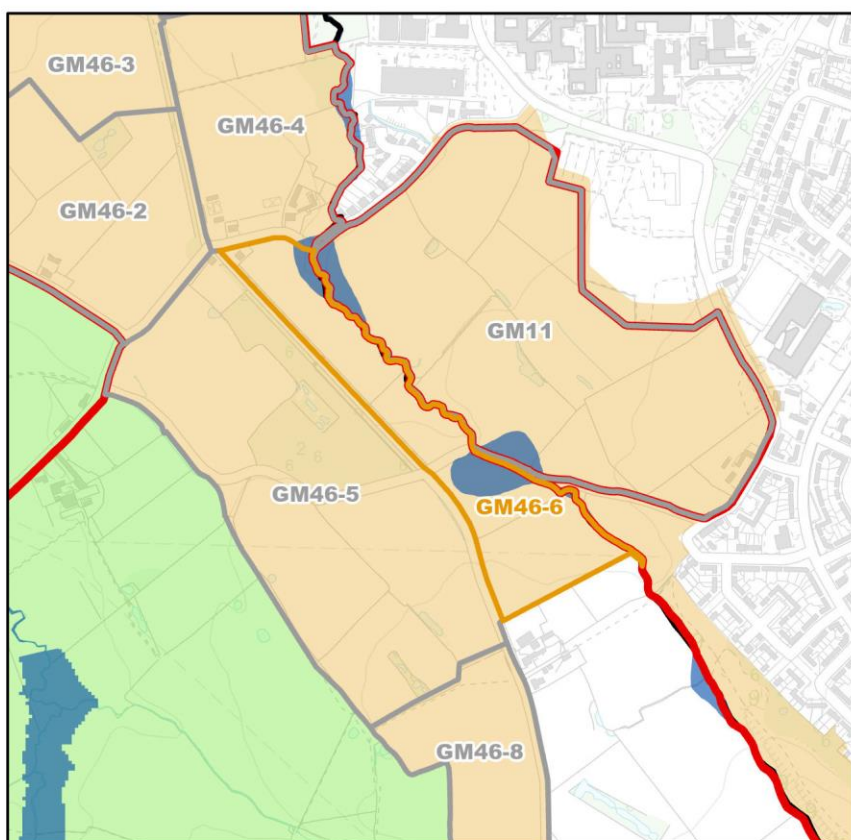
Very High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, and a significant impact on preventing the merger of towns. It would constitute a moderate weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as very high.

GM46-6



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM46-6

Area Description

Narrow strip of farmland adjacent to the western edge of Newall Green/Timperley. The sub-area has no urbanising development to diminish openness and is not significantly contained by the surrounding urban edge. To the east, the tree-lined Fairywell Brook and well-treed fields beyond provide distinction from the inset edge, whilst a tree-line provides only some distinction from the inset edge to the southeast. The outer boundaries with the adjoining sub-areas are defined by a tree-lined former railway line, and a small stretch of Roaring Gate Lane.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Newall Green is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. However, the weaker distinction along the inset edge to the southeast of the sub-area limits the role of the land in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this sub-area, despite its narrow form, would slightly reduce the gap between the neighbouring towns of Wythenshawe and Hale, which although to a degree linked are largely distinct with no significant separating features lying between them.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this land would encroach on open land that is perceived as countryside. However, the weaker distinction along the inset edge to the southeast of the sub-area limits the role of the land in preventing encroachment on the countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The land does not make a significant contribution to the setting of any historic town.

GM46-6

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM46-6

Impact on adjacent Green Belt

Rating: No/negligible

Releasing this sub-area, as part of the release of the Allocation as a whole, would not significantly increase the containment of any adjacent land. The release would also have no bearing on the strength of retained Green Belt land, as the adjoining railway line creates distinction between the sub-area and those parts of the Allocation area that adjoin retained Green Belt land.

Overall harm to Green Belt purposes from release of land

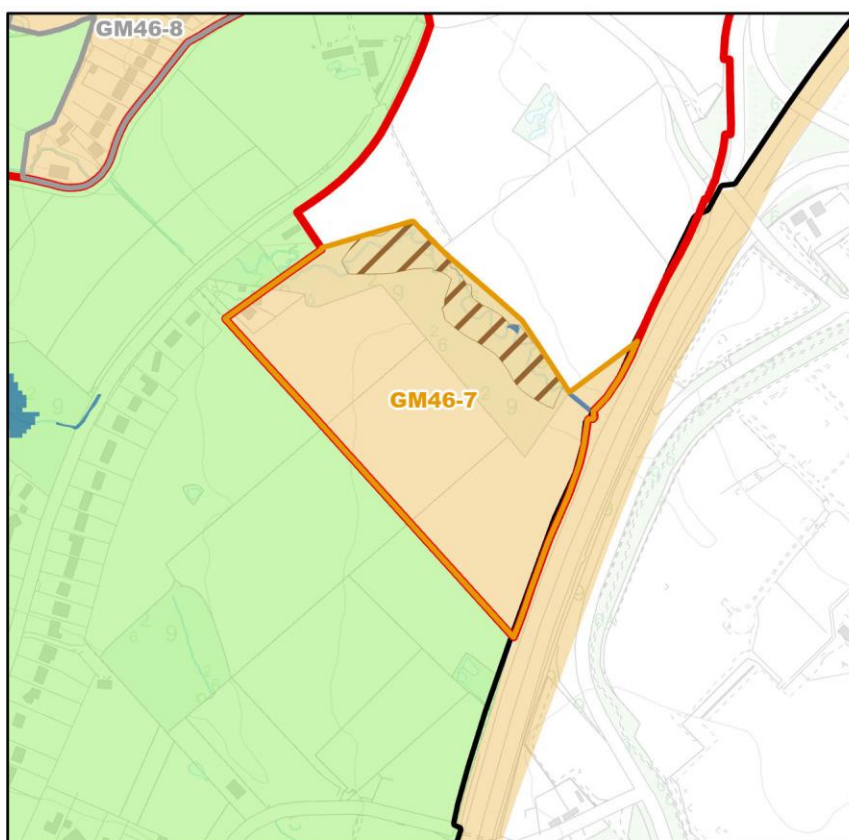
Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. The release would constitute only a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

GM46-7



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Ancient woodland
- Flood zone 3



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GM46-7

Area Description

Relatively flat area of farmland lying to the west of inset land designated for a new rail terminal, on the boundary between Stockport and the City of Manchester. The sub-area comprises of agricultural land and has no urbanising development to diminish openness, however it has a degree of urbanising containment by the settlement edge to the east and the washed over linear housing development along Brooks Drive. The M56 provides distinction from the adjacent inset edge to the east, however it should be noted that this has been breached by the inset land allocated to the north for rail infrastructure, limiting its role in providing distinction between inset and Green Belt land. Woodland provides distinction between the sub-area and this inset land to the north. It is noted that the eastern part of this sub-area, as well as land to the south, forms part of the area of safeguarded land for HS2.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Davenport Green (Wythenshawe) is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. While the sub-area is open, the degree of containment and lack of strong and consistent distinction on the inset edge limits its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

The release of this land would reduce the existing narrow gap between the towns of Wythenshawe and Hale Barnes, however the two are already effectively linked by linear housing development along Brooks Drive.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

Releasing this sub-area would encroach on land which, despite a degree of containment by urbanising uses, in general is generally open in character.

GM46-7

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

The release would detract from the wider setting of the historic settlement of Hale but, due to its location, low-lying setting and visual screening (by development, roads, trees etc), would not diminish the components important to its historic character.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM46-7

Impact on adjacent Green Belt

Rating: Minor

The release of this sub-area, as part of the release of the Allocation as a whole, would increase the containment of retained Green Belt land to the south, lying between the M56 and Brooks Drive, and would reduce its distinction from the inset edge by breaching the woodland along the north of the sub-area. However, due to its existing containment, this area of Green Belt south of the sub-area makes a limited contribution to Green Belt purposes, and as such its containment and weakening of its distinction from the urban edge would not increase the harm of release of the sub-area. Release would also leave weak retained Green Belt separation between the settlements of Hale Barns and Wythenshawe, however the gap between these settlements is already weakened by the presences of development along Brooks Drive.

Overall harm to Green Belt purposes from release of land




Moderate

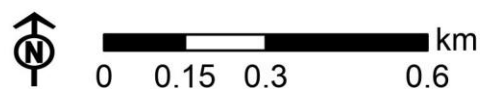
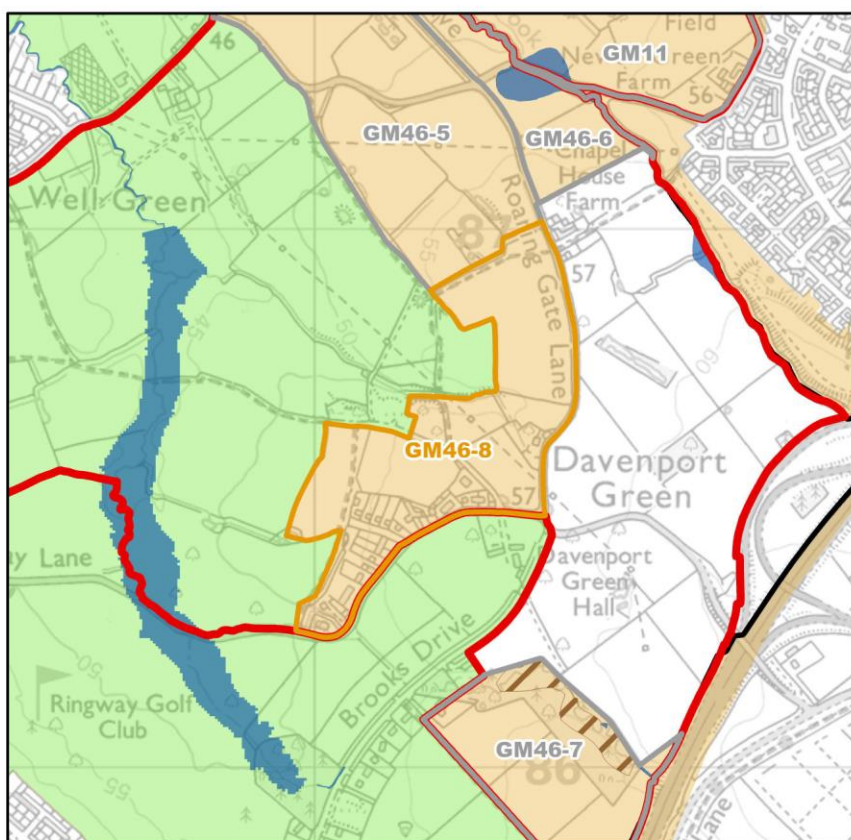
Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. The release would also constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.

It is noted however that some land within and to the south of the sub-area is safeguarded land for HS2. If this were to be developed, then the remaining land within the sub-area would have a greater degree of urbanising containment and would therefore only make a relatively weak contribution to Green Belt purposes. Its release would constitute a negligible weakening of retained Green Belt land and harm from release of this land would be low.

GM46-8



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Ancient woodland
-  Flood zone 3



GM46-8

Area Description

Gently undulating farmland lying on the southern edge of Newall Green and including the washed over village of Davenport Green to the south. Built development is limited to medium-density linear housing along Shay Lane, which has some limited degree of urban influence within the sub-area. This washed over development, in conjunction with the inset edge to the east, also creates some limited degree of urbanising containment within the sub-area, whilst the tree-lined lane to the east creates some distinction from the inset edge. Field boundaries mark the edge of the sub-area with the adjoining sub-area to the north and retained Green Belt land to the west. Shay Lane provides some distinction from retained Green Belt land to the south.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Wythenshawe is part of the Greater Manchester large built-up area, so development expanding this sub-area would constitute sprawl. However, the existing urbanising development within this sub-area limits the role of this land in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

The release of this land would reduce the critical gap between the towns of Hale and Wythenshawe, which are currently distinct. However, the existing urbanising development within this sub-area limits the role of this land in maintaining separation between the settlements.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

Releasing this sub-area would encroach on land which is generally perceived as countryside. However, the existing urbanising development within this sub-area limits the role of this land in preventing encroachment on the countryside.

GM46-8

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Releasing this land would detract from the wider setting of the historic settlements of Hale and Northenden but, due to its location, low-lying setting and visual screening (by development, roads, trees etc), would not diminish the components important to their historic character.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM46-8

Impact on adjacent Green Belt

Rating: Minor

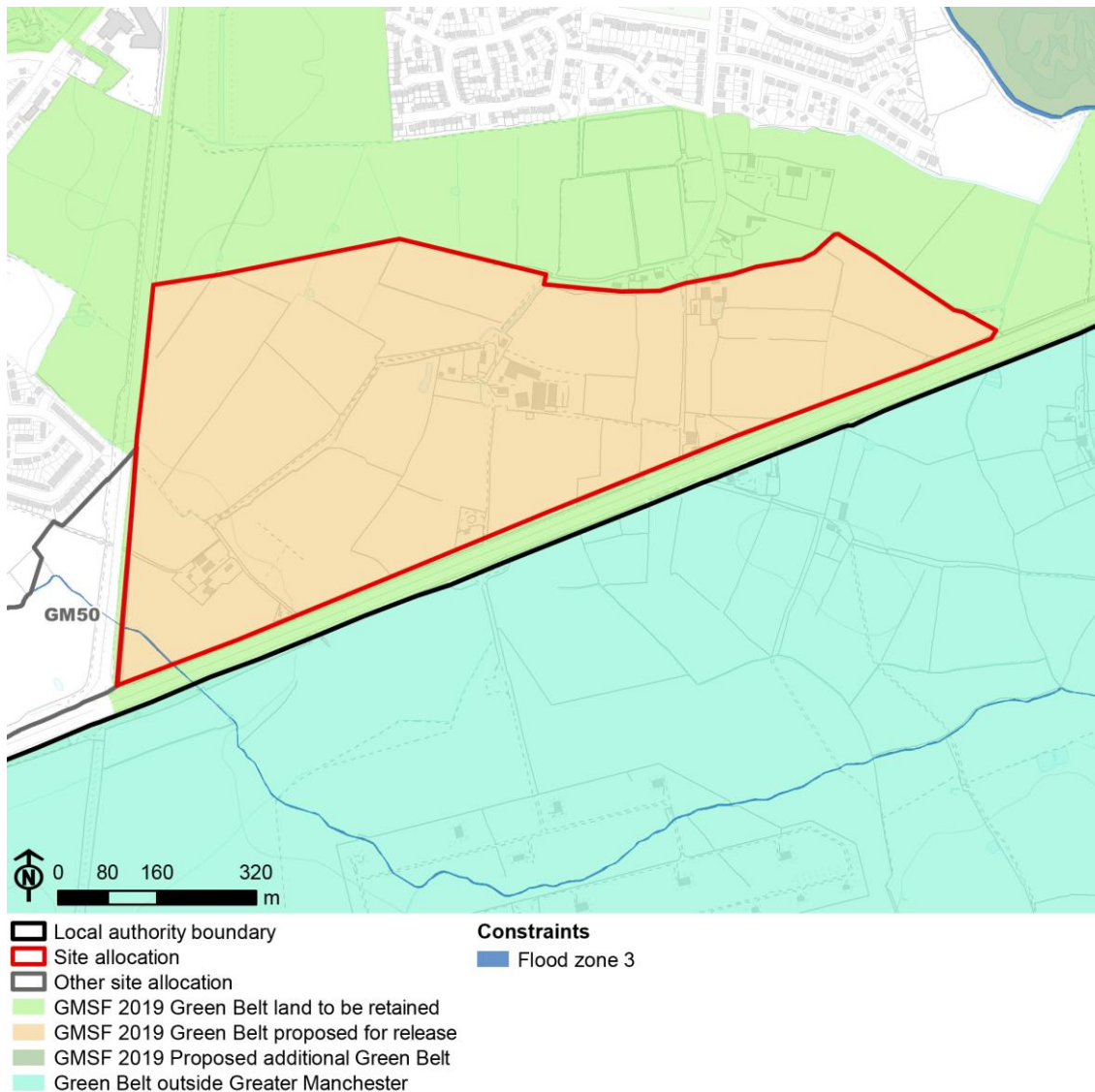
Releasing this sub-area, as part of the release of the Allocation as a whole, would significantly increase the containment of retained Green Belt land to the immediate south. However, due to the extent of its own containment by the inset edge and washed over development, this land makes a weaker contribution to Green Belt purposes and as such its containment would not increase the harm of releasing the sub-area. Release would however contribute to some increase in the containment of retained Green Belt land to the southwest, and the boundary to the west formed by hedgerows would be weaker than that currently formed by Roaring Gate Lane and associated hedgerow and trees.

Overall harm to Green Belt purposes from release of land

High

Release of this sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a relatively significant impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from release of the sub-area is therefore assessed as high.

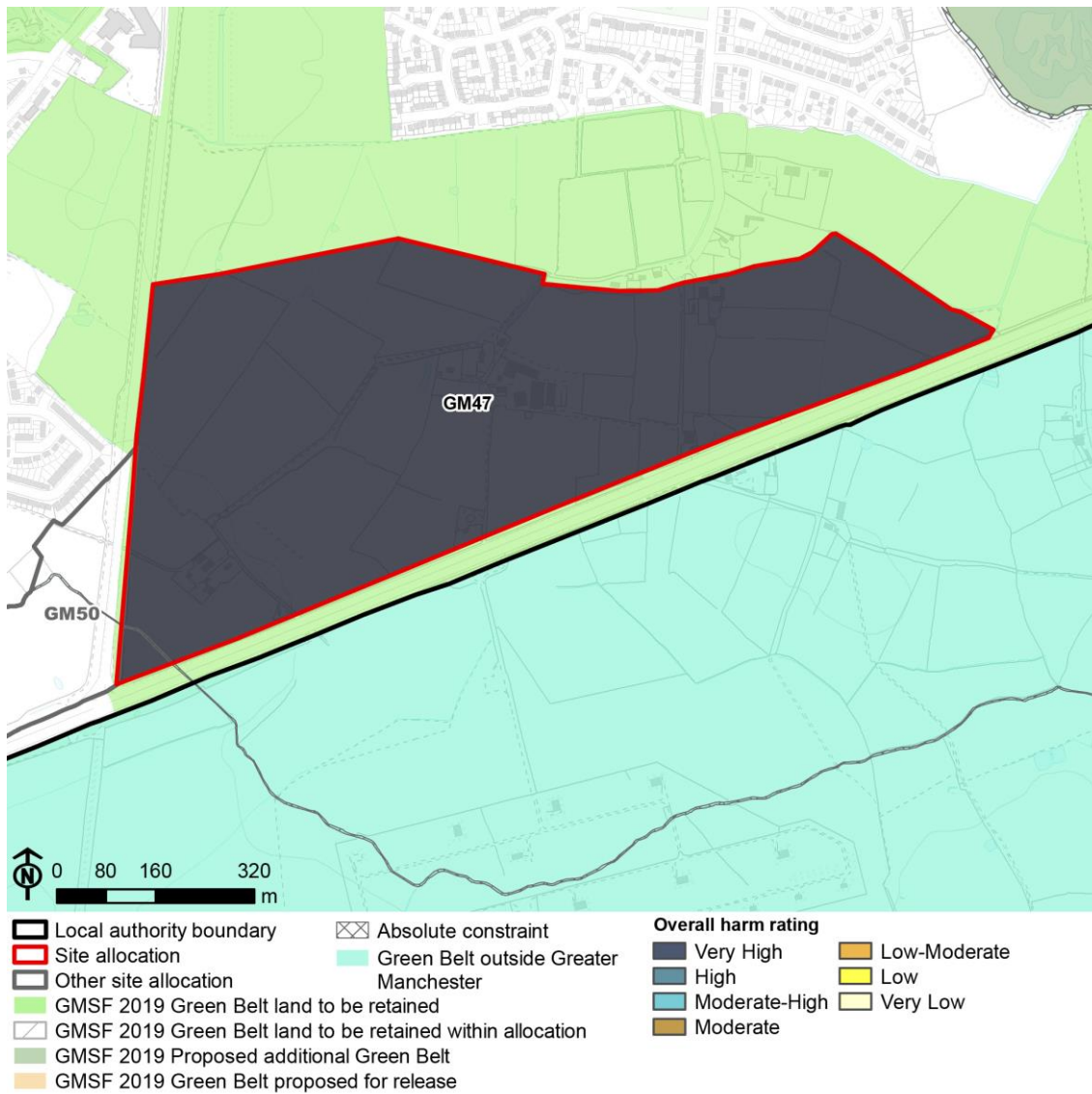
GM47 - Land South of Pennington



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Farmland lying between Lowton and Leigh, on the outer boundary of the Metropolitan Borough of Wigan.

GM47



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GM47

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Very High | 53.1 |
| Total Allocation area | 53.1 |

The Allocation comprises of open farmland. The land is not contained by urbanising development and retains distinction from the urban edge. As such, the Allocation makes a significant contribution to checking the sprawl of Greater Manchester, maintaining the separation of Lowton and Leigh, and preventing encroachment on the countryside.

Release of the Allocation would further contain retained Green Belt land to the north, weakening the gap between Lowton and Leigh, and would weaken the Green Belt boundary. Release of the Allocation would constitute very high harm to Green Belt purposes.

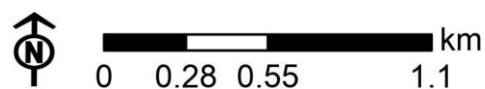
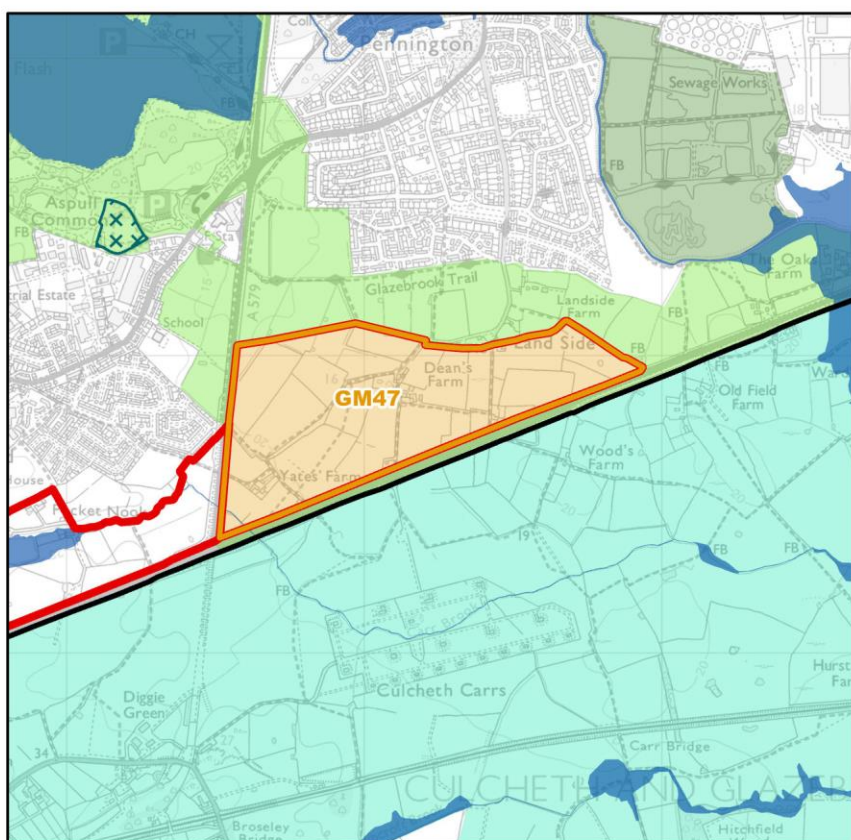
Potential to mitigate harm

Strengthening the boundary between the Allocation and retained Green Belt land to the north could potentially increase the future distinction between inset land and retained Green Belt land. This could help to limit the weakening of the boundary between inset land and retained Green Belt land and the perception of containment of this Green Belt land to the north, which could help limit the weakening of the gap between Lowton and Leigh.

GM47



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Green Belt outside Greater Manchester
- Registered common land
- Flood zone 3



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GM47

Area Description

Roughly triangular area of farmland containing two isolated farmsteads lying in the gap between Lowton and Leigh. The Allocation contains no urbanising development to diminish openness and is not significantly contained by surrounding urbanising development. The A579 Atherleigh Way creates relatively strong distinction from the inset edge to the west, while the outer boundary with adjacent retained Green Belt land is defined strongly by the A580 to the south but more weakly by field boundaries to the north.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Lowton is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The distinction provided by the A579 on the inset edge contributes to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Significant

Although a narrow gap would remain, releasing this land would remove the A579 as the only significant separating feature between towns of Lowton and Leigh, which are currently distinct.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

This release would encroach on land which is perceived as countryside and is strongly distinct from the settlement edge beyond the A579.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM47

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM47

Impact on adjacent Green Belt

Rating: Moderate

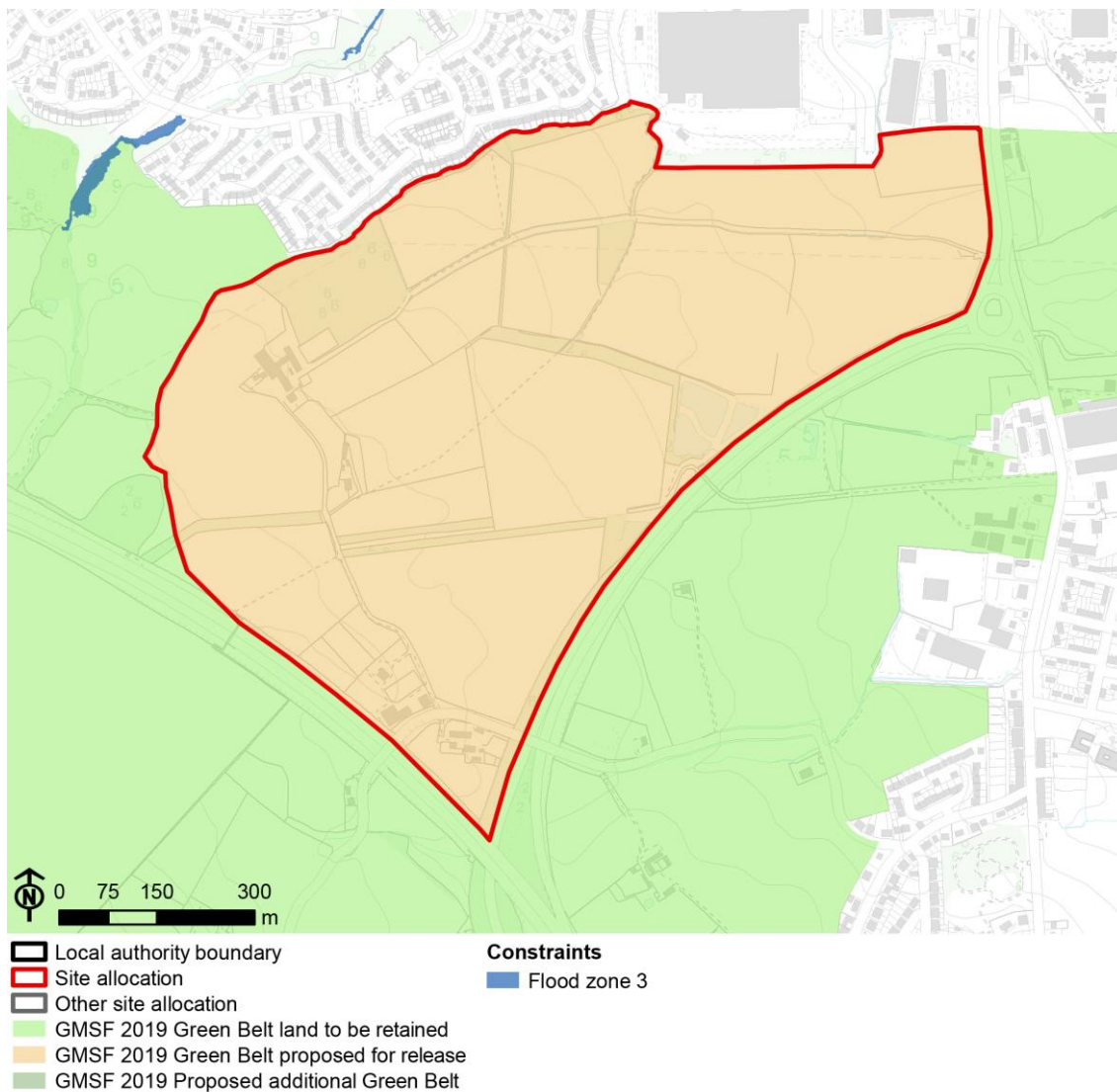
The release would lead to some further containment of adjacent retained Green Belt land to the north, forming the gap between Lowton and Leigh. The release would also result in a significantly weaker distinction between the inset settlement and retained Green Belt land, which would now be defined by hedgerows rather than the strong separating feature provided by the A579.

Overall harm to Green Belt purposes from release of land

Very High

Release of the Allocation would constitute significant sprawl and encroachment on the countryside, and a significant impact on preventing the merger of towns. It would constitute a moderate weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as very high.

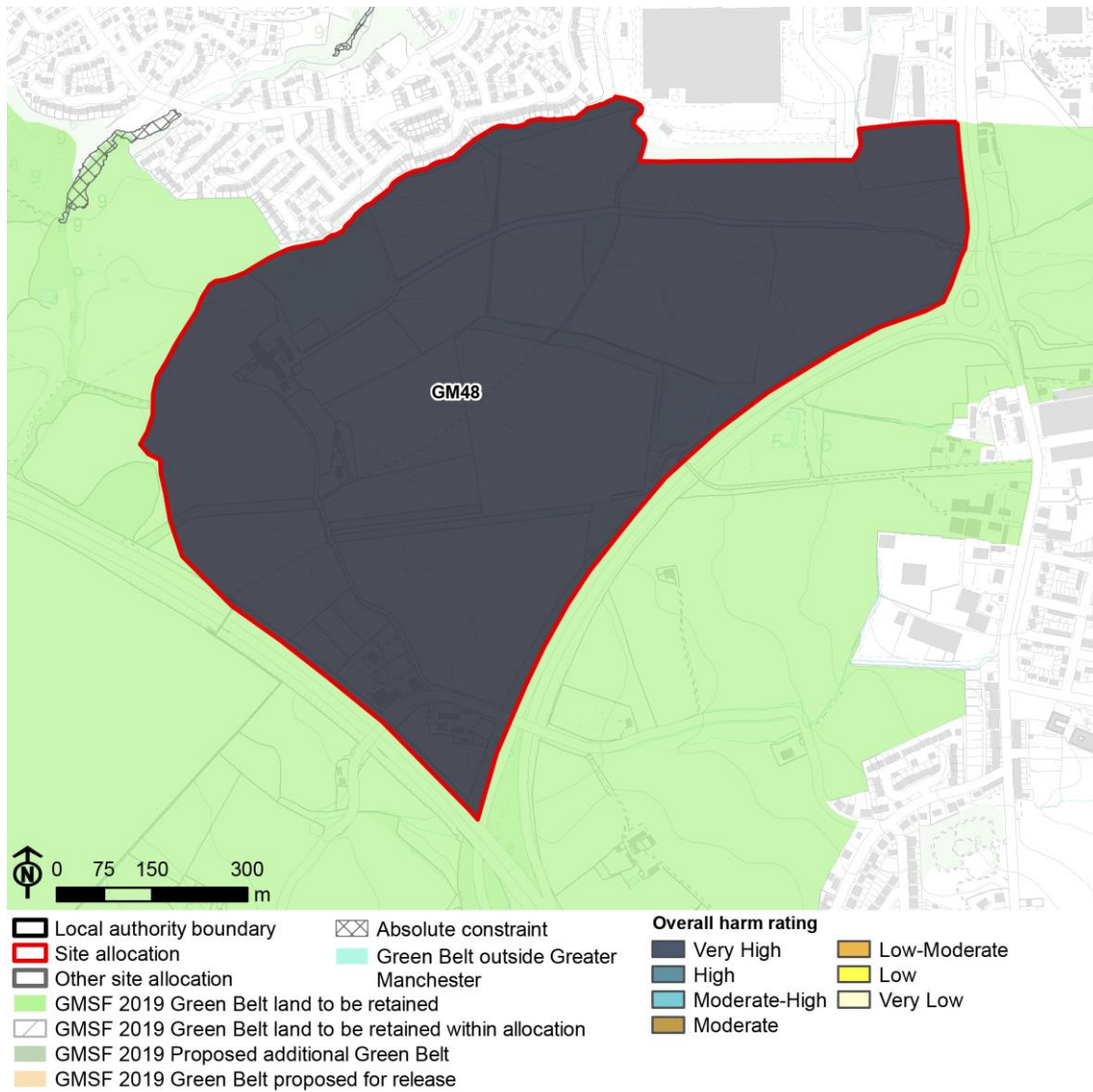
GM48 - M6, Junction 25



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Farmland and woodland block south of Winstanley, within the Metropolitan Borough of Wigan.

GM48



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GM48

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Very High | 73.7 |
| Total Allocation area | 73.7 |

The Allocation comprises of open farmland and a woodland block. The Allocation is not contained by urbanising development and retains distinction from the urban edge. As such, the Allocation makes a significant contribution to checking the sprawl of Greater Manchester, maintaining the separation of Wigan and Ashton-in-Makerfield, and preventing encroachment on the countryside.

Although release of the Allocation would not weaken the Green Belt boundary, it would further narrow what is already a relatively narrow gap between Wigan and Ashton-in-Makerfield and, in doing so, would significantly reduce the connectivity of adjacent retained Green Belt land. Release would therefore constitute very high harm to Green Belt purposes.

Potential to mitigate harm

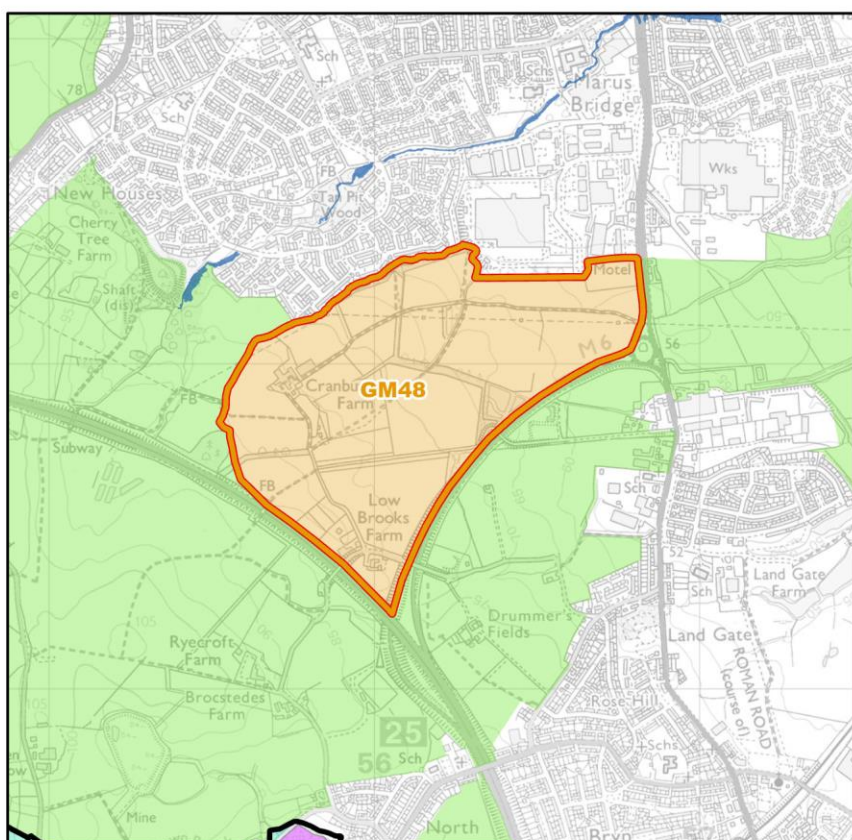
The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, resulting in the narrowing of the gap between Wigan and Ashton-in-Makerfield. As such, mitigation measures would not reduce the harm of release of this Allocation.

Nevertheless, strengthening the boundary between the Allocation and surrounding retained Green Belt land notably to the east where the settlement gap is narrowest, such as by woodland planting along the A49, could potentially increase the future distinction between inset land and retained Green Belt land, and help to limit the perception of the narrowing of the gap between Wigan and Ashton-in-Makerfield.

GM48



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Green Belt outside Greater Manchester
- Cemetery
- Flood zone 3



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GM48

Area Description

Gently sloping patchwork of fields with a sizeable woodland block in the centre and two isolated farmsteads (Cranbury Ley Farm and Low Brooks Farm), adjacent to the southern edge of Winstanley. The Allocation contains no urbanising development to diminish openness and is not significantly contained - while there are the urban edges to of Wigan and Ashton-in-Makerfield to the north and south, the land remains retains a strong relationship with open countryside to the south west. The narrow tree belt that separates this land from the residential and industrial/retail uses to the north provides some distinction with the urban edge. The outer boundary with adjacent retained Green Belt land is defined largely by the combination of a motorway slip road, a stretch of the A49 Warrington Road and a stretch of the M6, however to the north it is more weakly defined by field boundaries.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

Wigan is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The Allocation is open and the degree of distinction from the urban edge provided by tree cover contributes to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Significant

Despite the presence of the M6 motorway slip road as a separating feature, releasing this Allocation would further reduce the relatively narrow gap between the towns of Wigan and Ashton-in-Makerfield, leaving only a very narrow gap between the two around the Haslemere Industrial Estate.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

The release would encroach on land which, due to the absence of urbanising uses and some distinction from the urban edge, is generally perceived as countryside and has a relatively strong relationship with open countryside to the west.

GM48

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM48

Impact on adjacent Green Belt

Rating: Moderate

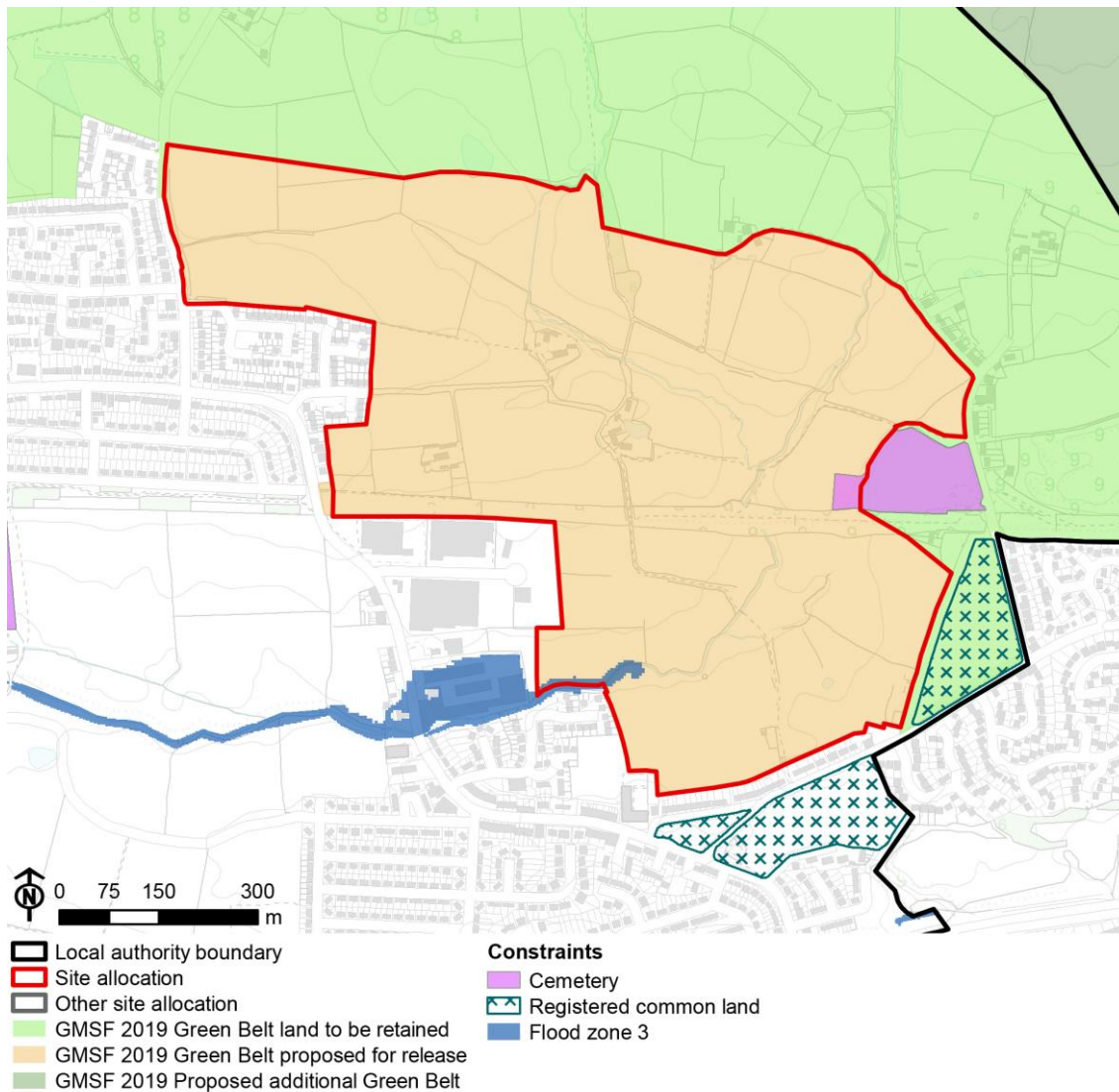
Releasing this land would further narrow what is already a relatively narrow gap between Wigan and Ashton-in-Makerfield and, in doing so, would significantly reduce the connectivity of adjacent retained Green Belt land, leaving only a thin strip of retained Green Belt linking open land to the east and west. However, the release would result in a relatively distinct and consistent boundary between the inset settlement and retained Green Belt land, which would now be largely defined by the M6 motorway and its slip road.

Overall harm to Green Belt purposes from release of land

Very High

Release of the Allocation would constitute significant sprawl and encroachment on the countryside, and a significant impact on preventing the merger of towns. It would constitute a moderate weakening of retained Green Belt land. Harm from the release of the Allocation is therefore assessed as very high.

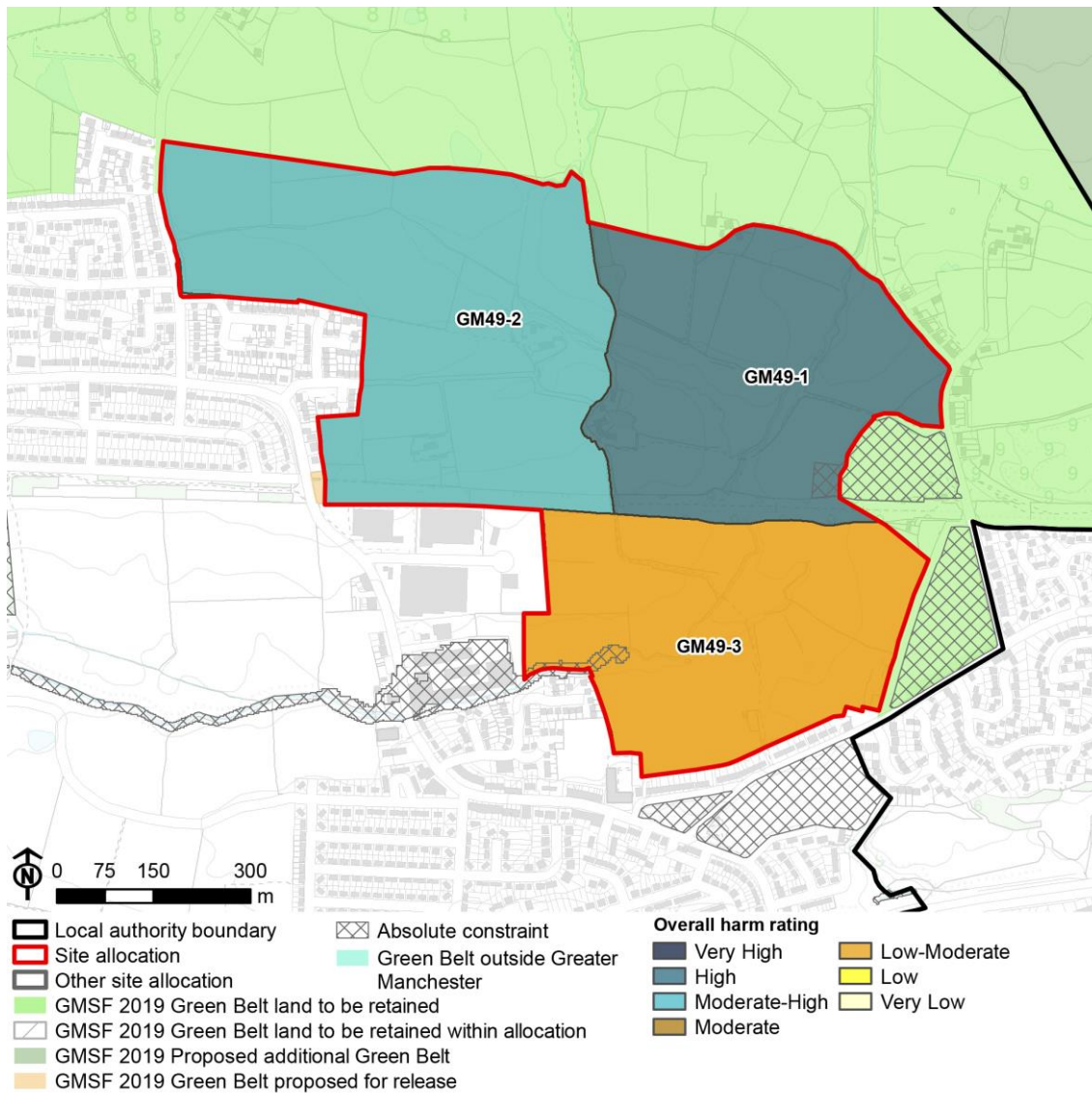
GM49 - North of Mosley Common



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Farmland at Mosley Common, lying between Tyldesley & Astley and Boothstown & Ellenbrook, within the Metropolitan Borough of Wigan.

GM49



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GM49

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| High | 19.4 |
| Moderate-High | 26.5 |
| Low-Moderate | 18.5 |
| Total Allocation area | 64.6 |

GM49 is split into three sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation predominantly comprises of open farmland. With the exception of the southernmost part of the Allocation, the majority of the Allocation is not contained by urbanising development. However, with the exception of the northernmost part of the Allocation, land within the Allocation predominantly lacks distinction from the urban edge. AS such, the Allocation makes a significant contribution to checking the sprawl of Greater Manchester and preventing encroachment of the countryside, and a relatively significant contribution to maintaining the separation of Tyldesley & Astley and Walkden, with less distinct land in the west of the Allocation making a lesser contribution and more contained land in the south of the Allocation making an even lesser contribution.

Release of the Allocation would weaken the Green Belt boundary and there would be some narrowing of the gap between Tyldesley & Astley and Walkden, but the proposed addition of Green Belt along the edge of Walkden would largely offset this. Release of the Allocation would constitute high harm to Green Belt purposes.

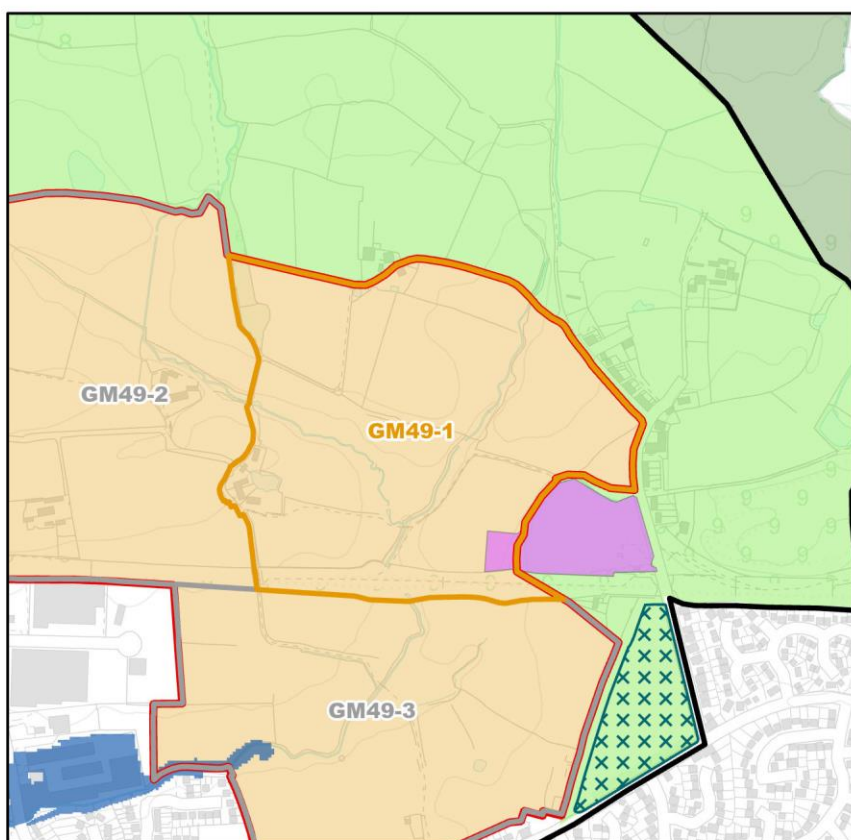
Potential to mitigate harm

The proposed re-designation of Green Belt land along the edge of Walkden, an area with substantial tree cover, will help to maintain separation between Tyldesley & Astley and Walkden. Strengthening the boundary between the Allocation and retained Green Belt land to the north and east could potentially further increase the future distinction between inset land and retained Green Belt land.

GM49-1



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Cemetery
- Registered common land
- Flood zone 3



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GM49-1

Area Description

Relatively flat area of farmland and scattered small farmsteads lying north of Mosley Common, crossed by Honksford Brook. The land lies within the existing sprawl between the neighbouring towns of Tyldesley & Astley and Boothstown & Ellenbrook and is not directly adjacent to an existing inset edge. The sub-area contains no urbanising development to diminish openness and is not significantly contained by surrounding urbanising development. The route of the Leigh Guided Busway provides some distinction on the urban edge to the south, whilst residential garden boundaries and minor roads create minimal distinction on the urban edge to the west.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Significant

The settlements of Tyldesley & Astley and Boothstown & Ellenbrook are both part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. The sub-area is open and is not significantly contained by surrounding urbanising development, giving it an important role in preventing unrestricted sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Significant

Releasing this land would project the urban edge further north than the existing inset edge, and as such would reduce the gap between the towns of Tyldesley & Astley and Walkden, which is already relatively narrow. While these two are to a degree linked (to the east), in this area they are largely distinct.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Significant

The release would encroach on land which, due to the absence of urbanising development and relatively strong relationship with surrounding open land, is generally perceived as countryside.

GM49-1

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM49-1

Impact on adjacent Green Belt

Rating: Minor

Given that this land lies in a relatively narrow Green Belt gap between towns, release of the sub-area, as part of the release of the Allocation as a whole, would constitute some reduction in separation, but the proposed addition of Green Belt along the edge of Walkden would largely offset this. The release would also result in a weaker and less consistent distinction between the inset settlement and retained Green Belt land, which would benefit from few distinct boundary features to act in preventing further sprawl.









Overall harm to Green Belt purposes from release of land

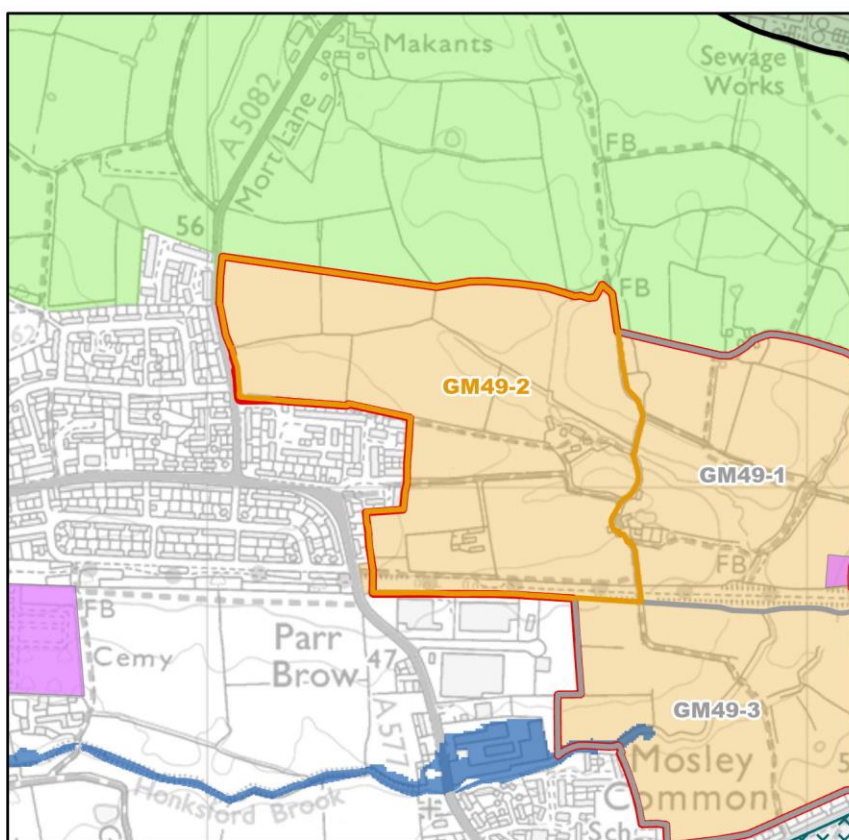
High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute significant sprawl and encroachment on the countryside, and a relatively significant impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as high.

GM49-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Cemetery
-  Registered common land
-  Flood zone 3



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GM49-2

Area Description

Relatively flat area of farmland and scattered small farmsteads on the eastern edge of Tyldesley, crossed by Honksford Brook, and lying within the existing sprawl between the neighbouring towns of Tyldesley & Astley and Boothstown & Ellenbrook. The sub-area contains no urbanising development to diminish openness and is not significantly contained by surrounding urbanising development. Residential garden boundaries and minor roads create minimal distinction on the urban edge to the west. The outer boundary with retained Green Belt land to the north is defined in part by field boundaries, whilst in parts there are no defined boundary features.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Tyldesley & Astley is part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. Despite the lack of distinction on the inset edge, the sub-area is open and uncontained, contributing to its role in preventing further sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would further reduce the gap between the towns of Tyldesley & Astley and Walkden, which is already relatively narrow. While these two are to a degree linked (to the east), in this area they are largely distinct.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

The release would encroach on land which, due to the absence of urbanising development, is generally perceived as open countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM49-2

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM49-2

Impact on adjacent Green Belt

Rating: Minor

Releasing this land, as part of the release of the Allocation as a whole, would make no significant change in the strength of distinction between the inset edge and retained Green Belt land, which would be subsequently defined by some field boundaries, compared to the existing residential boundaries. However, given that this land lies in a relatively narrow Green Belt gap between towns, releasing it would increase the containment of adjacent retained Green Belt land to the north.

Overall harm to Green Belt purposes from release of land

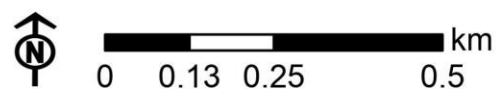
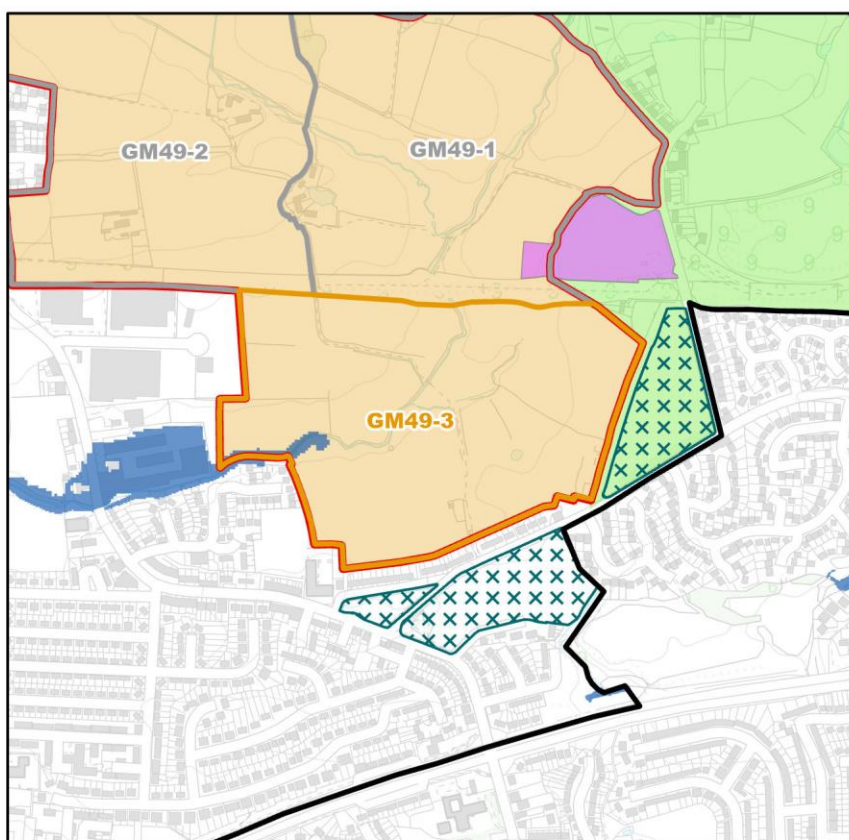
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM49-3



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Cemetery
- Registered common land
- Flood zone 3



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GM49-3

Area Description

Relatively flat area of farmland and bare land in the west, with scattered tree cover adjacent to the northern edge of Boothstown, lying between the settlement edge and the route of the Leigh Guided busway. The sub-area contains no urbanising development to diminish openness but the surrounding settlement edge to the east, south and west creates a degree of urbanising containment. While the woodland block in the south east corner provides a small stretch with stronger distinction, the remainder of the edge is defined weakly by a mixture of residential garden boundaries and sparsely-treed boundaries with neighbouring industrial uses. The outer boundary of the sub-area is defined by Mosley Common Playing Fields (registered common land that is an absolute constraint to development), and a busway route, which provides some limited distinction from the adjoining sub-area to the north and the retained Green Belt land beyond.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

The settlements of Tyldesley & Astley and Boothstown & Ellenbrook are both part of the Greater Manchester large built-up area, so development expanding this area would constitute sprawl. The sub-area is open despite its containment, however the generally weak distinction from the urban edge limits its role in acting in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

Release of this land would further reduce the gap between the towns of Tyldesley & Astley and Boothstown & Ellenbrook, which are separated in part by Green Belt but which are linked to a degree. The fact that this release would not project the settlement edge further north than the existing development to the east and the west limits the role this land plays in preserving the gap between towns.

GM49-3

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

The release would encroach on land which is associated with the proximity of the urban area through its containment by the settlement edge, but which is nonetheless open character.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM49-3

Impact on adjacent Green Belt

Rating: No/negligible

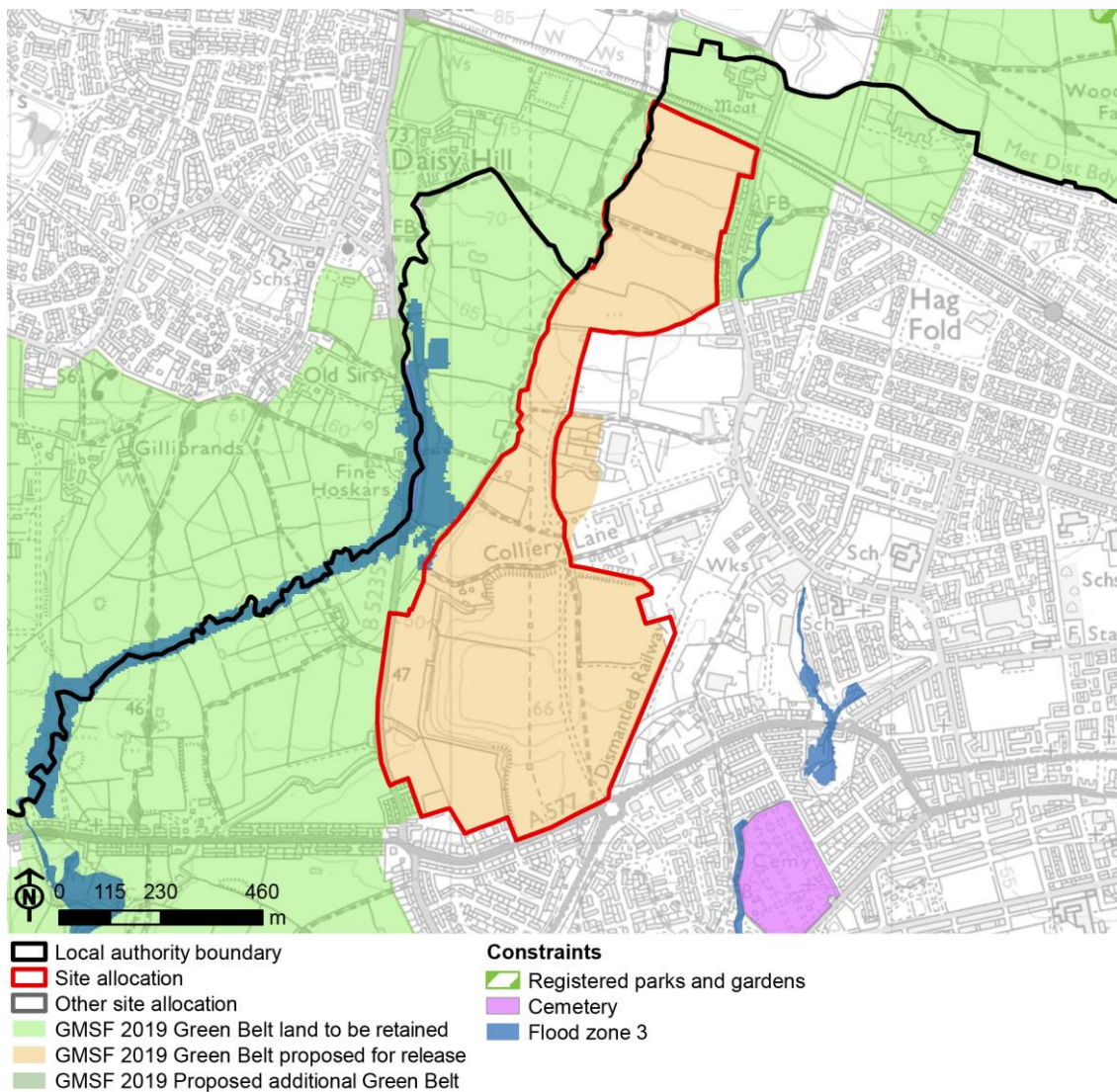
Release of the sub-area, as part of the release of the Allocation as a whole, would contain the small area of land to the east containing Mosley Common Playing Fields, however this is registered common land that is an absolute constraint to development, and as such the containment of this does not increase harm. Due to the extent of its own containment, release of the sub-area, as part of the release of the Allocation as a whole, would not significantly increase the containment of any other retained Green Belt land. Release would have no bearing on the strength of retained Green Belt land to the north, as the route of the Leigh Guided Busway creates distinction between the sub-area and those parts of the Allocation area that adjoin the retained Green Belt.

Overall harm to Green Belt purposes from release of land

Low-Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute moderate sprawl and encroachment on the countryside and a relatively limited impact on preventing the merger of towns. It would constitute only a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as low-moderate.

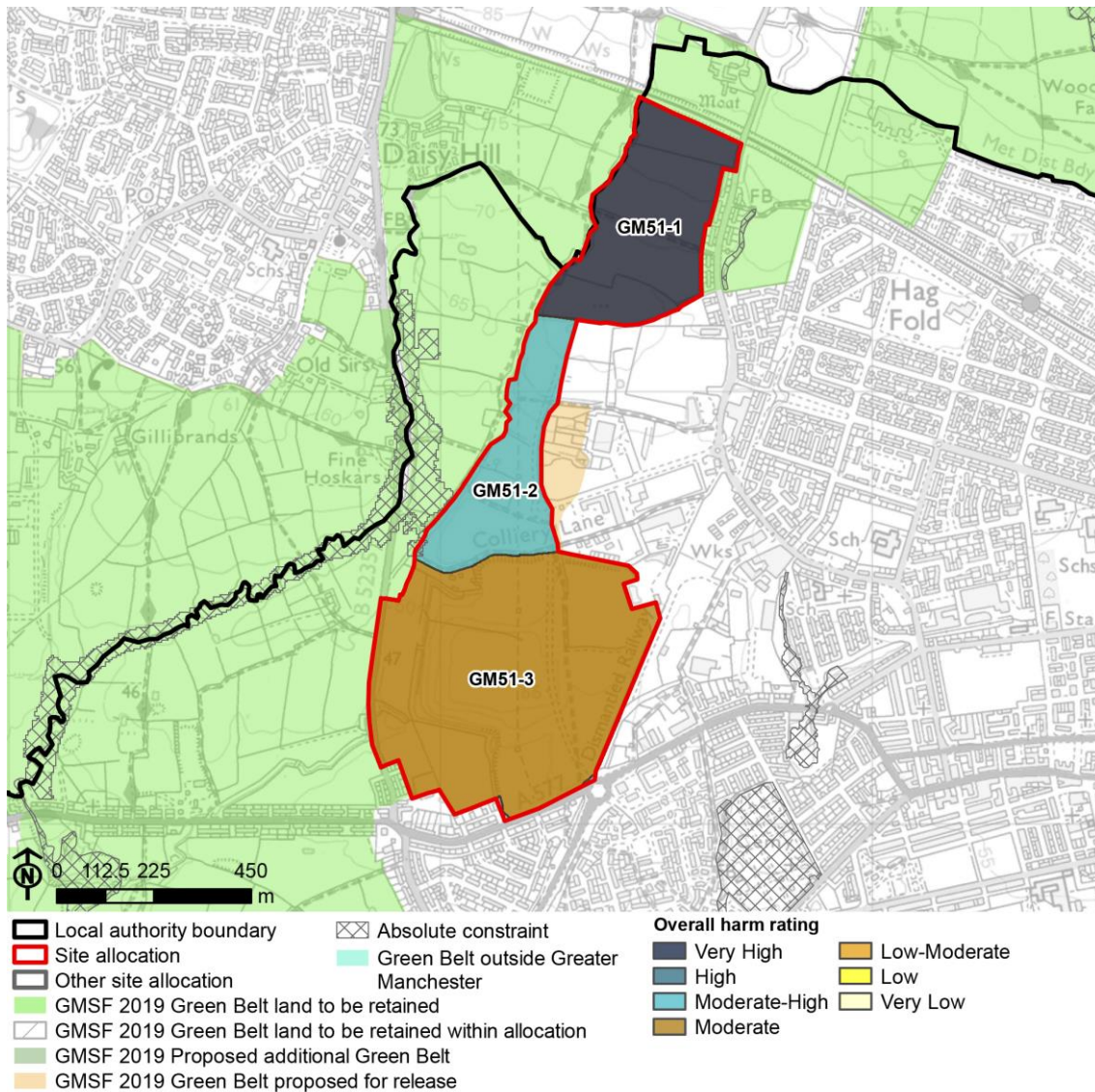
GM51 - West of Gibfield



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Grassland and scrubland on the western edge of Atherton, within the Metropolitan Borough of Wigan.

GM51



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GM51

Harm of release proposed in GMSF 2019

| Harm Rating | Area (Ha) |
|-----------------------|-----------|
| Very High | 13.3 |
| Moderate-High | 9.2 |
| Moderate | 31.3 |
| Total Allocation area | 53.9 |

GM51 is split into three sub-areas to reflect variations in harm to the Green Belt purposes.

The Allocation predominantly comprises of open grassland and scrubland. The majority of the Allocation lacks distinction from the urban edge and the urban edges create a degree of urbanising containment. As such, the majority of the Allocation makes a relatively significant contribution to checking the sprawl of Greater Manchester and preventing encroachment on the countryside, with land in the north making a lesser contribution; however, land in the north of the Allocation makes a significant contribution to maintaining the narrow separation between inset land at Atherton and Westhoughton.

Release of the Allocation would weaken the Green Belt boundary and would significantly reduce the connectivity of adjacent retained Green Belt land by severing the Green Belt gap between the settlements of Atherton and Westhoughton. Release of the Allocation would constitute very high harm to Green Belt purposes.

Potential to mitigate harm




The principal cause of harm from release of this Allocation would be from the loss of the Green Belt land within the Allocation itself, resulting in the severing of the Green Belt gap between the settlements of Atherton and Westhoughton. As such, mitigation measures would not reduce the harm of release of this Allocation. Nevertheless, strengthening the boundary between the Allocation and surrounding retained Green Belt land notably to the north where the settlement gap is narrowest, such as by woodland planting along the railway

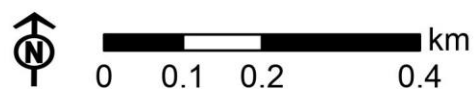
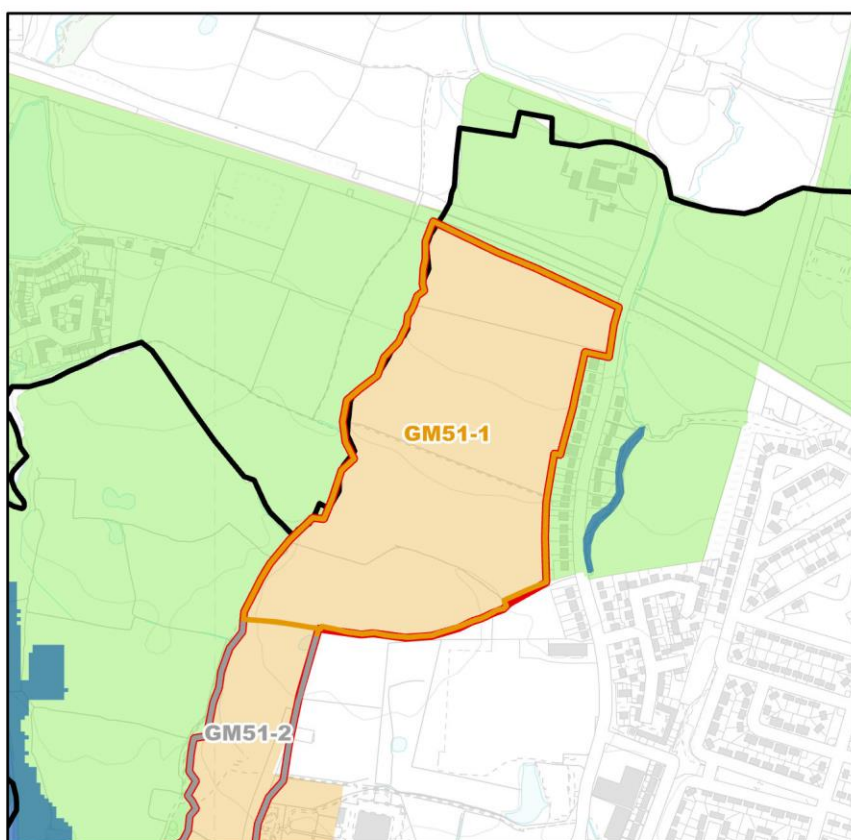
GM51

line, could potentially increase the future distinction between inset land and retained Green Belt land, and help to limit the perception of the merging of Atherton and Westhoughton.

GM51-1



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM51-1

Area Description

Relatively flat open grassland with scattered trees lying on the western edge of Atherton, forming a large part of the gap with the neighbouring settlement of Westhoughton. The sub-area contains no urbanising development to diminish openness, however it lies in a relatively narrow gap between the settlement edges of Atherton and Westhoughton and, as such, these edges create a degree of urbanising containment. The sub-area is weakly distinguished from the urban edge to the east, largely by residential garden boundaries, and to the south there are no distinct boundaries to provide distinction from urbanising uses within Atherton. Beyond the railway line to the northeast, it is noted that the inset land is currently designated as Protected Open Land. The outer boundary with adjacent retained Green Belt land is defined by an unnamed brook to the west, the railway line to the north and the garden boundaries of dwellings along North Road to the east.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Moderate

Atherton is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is relatively open, however the weak distinction on the urban edge limits to an extent its role in acting in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Significant

Releasing this sub-area would remove entirely the Green Belt gap between towns of Atherton and Westhoughton, which are currently distinct. While there would only be a small area where the two inset edges meet, this would sever the stretch of Green Belt lying to the west of the sub-area. It is noted that the presence of Protected Open Land widens the gap between existing settlement edges, but as this is not Green Belt or an absolute constraint to development it is not considered to reduce the contribution of Green Belt land to this purpose.

GM51-1

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Moderate

This release would encroach on land which is free of urbanising influences, however the weak distinction on the urban edge and the partial sense of containment by urbanising uses limit the perception of this land as open countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM51-1

Impact on adjacent Green Belt

Rating: Moderate

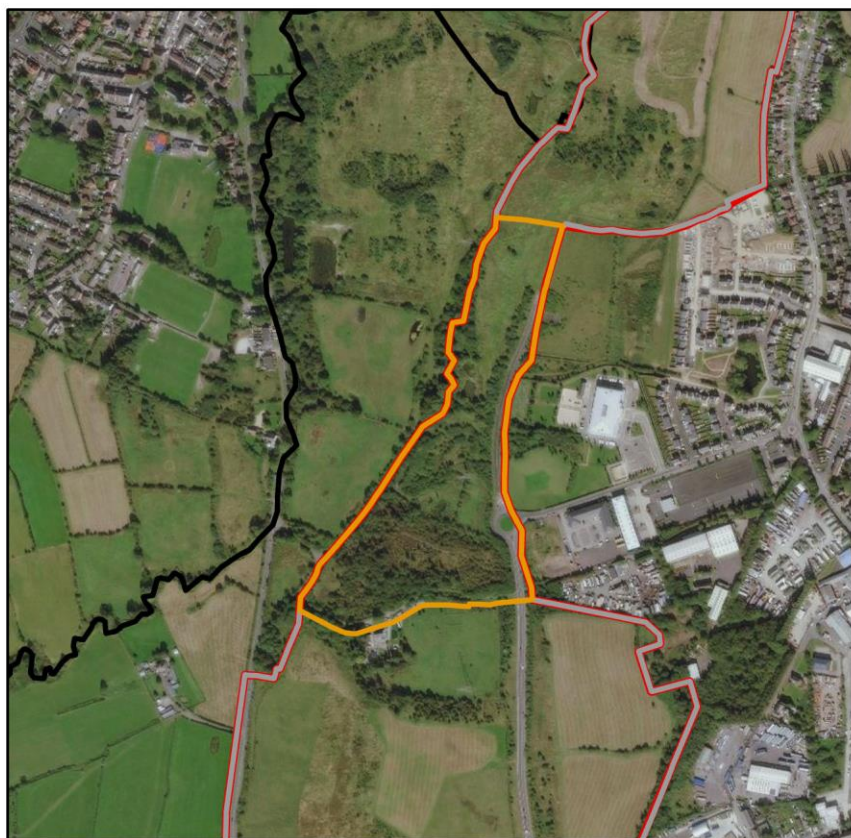
Release of the sub-area, as part of the release of the Allocation as a whole, would significantly reduce the connectivity of adjacent retained Green Belt land by severing the Green Belt gap between the settlements of Atherton and Westhoughton. There is no feature to define the revised inset Green Belt edge here, which follows the district boundary, whereas the current inset edge is at least in part (to the east of North Road) defined by a stronger boundary.

Overall harm to Green Belt purposes from release of land

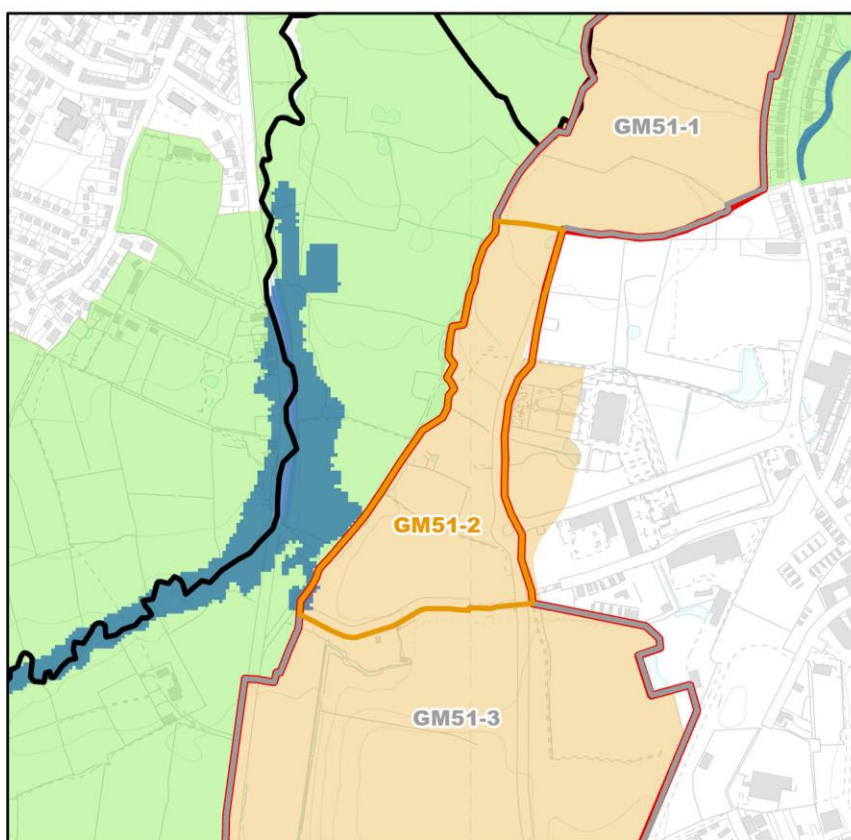
Very High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute a significant impact on preventing the merger of towns, and moderate sprawl and encroachment on the countryside. It would constitute a moderate weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as very high.

GM51-2



-  Local Authority boundary
-  Sub area
-  Other sub area
-  Site allocation
-  GMSF 2019 Green Belt proposed for release
-  GMSF 2019 Green Belt land to be retained
-  GMSF 2019 Proposed additional Green Belt
-  Flood zone 3



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GM51-2

Area Description

Strip of relatively flat scrub land, tree cover and open grass land lying on the western edge of Atherton. The sub-area contains no urbanising development to diminish openness and is not significantly contained by surrounding inset edges. The presence of Gibfield Parkway creates some partial distinction from the adjacent urban edge. The outer boundary with adjacent retained Green Belt land is defined for the most part by an unnamed brook and associated tree cover.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Atherton is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is open and the partial distinction on the urban edge provided by Gibfield Parkway contributes to its role in preventing sprawl.

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Moderate

Releasing this land would slightly reduce what is already a narrow gap between the towns of Atherton and Westhoughton, which are currently distinct. The tree cover along the unnamed brook and the tree-lined Lower Leigh Road would remain as separating features.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

This release would encroach on land which is free of urbanising uses and where the lack of strong distinction from the urban edge only limits to a degree its relationship with surrounding open countryside.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land does not make a significant contribution to the setting of any historic town.

GM51-2

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM51-2

Impact on adjacent Green Belt

Rating: Minor

Release of the sub-area, as part of the release of the Allocation as a whole, would further contain the stretch of retained Green Belt land currently lying between the towns of Atherton and Westhoughton. However, the tree cover along the unnamed brook adjoining the western edge of the sub-area would create distinction between inset settlement and this retained Green Belt land. This, in conjunction with the tree-lined Lower Leigh Road to the west, would maintain visual separation between Atherton and Westhoughton, limiting the impact of release on the strength of retained Green Belt land between the two settlements.

Overall harm to Green Belt purposes from release of land

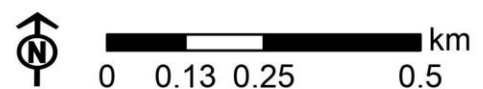
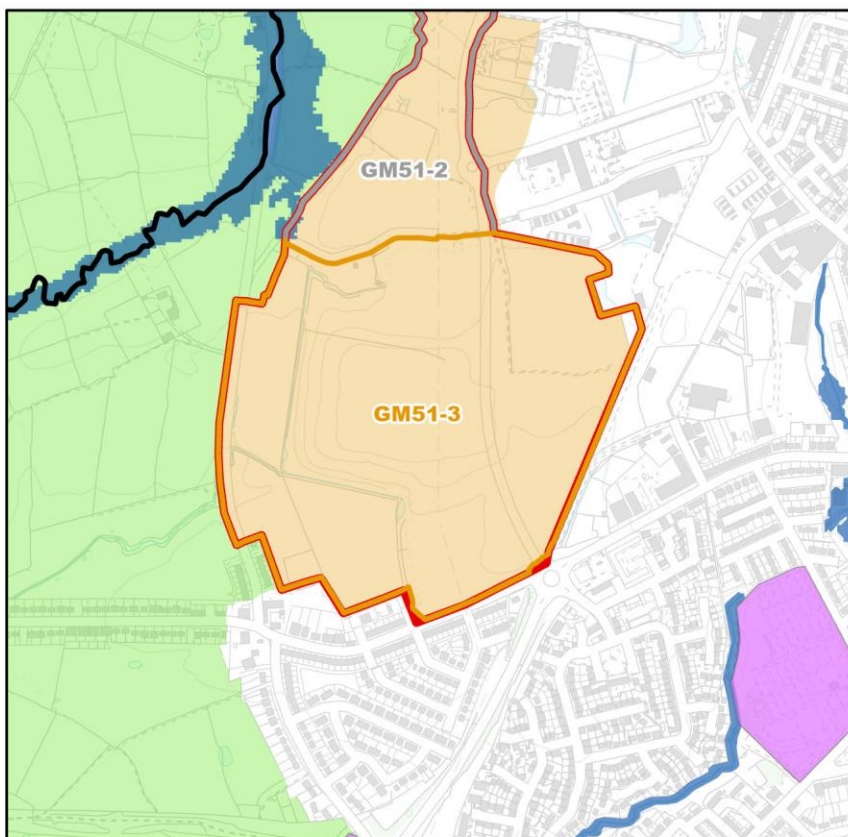
Moderate-High

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a moderate impact on preventing the merger of towns. It would constitute a minor weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate-high.

GM51-3



- Local Authority boundary
- Sub area
- Other sub area
- Site allocation
- GMSF 2019 Green Belt proposed for release
- GMSF 2019 Green Belt land to be retained
- GMSF 2019 Proposed additional Green Belt
- Cemetery
- Flood zone 3



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GM51-3

Area Description

Open grassland lying on the western edge of Atherton, divided from north to south by Gibfield Park Way, with a slightly elevated plateau of land in the centre. Urbanising development within the sub-area is limited to one isolated dwelling in the north, which is well screened by tree cover and does not significantly diminish openness. The elevated land within the sub-area contributes to a sense of openness. The surrounding urban edge to the south and east creates some degree of containment within the sub-area, but the distinction provided by tree cover and a dismantled railway line on the inset edge to the east, as well as the elevated topography in the centre of the sub-area, limits the sense of association with the urban edge. However, the residential garden boundaries that define the southern edge of the sub-area with the urban edge provide limited distinction. The outer boundary with adjacent retained Green Belt land to the west is defined mostly by the B5235 Schofield Lane.

Impact on purposes

- Purpose 1 - Check the unrestricted sprawl of large built-up areas

Rating: Relatively Significant

Atherton is part of the large built-up area of Greater Manchester, so development expanding this area would constitute sprawl. The sub-area is relatively open and, despite some sense of containment, the adjoining tree cover and dismantled railway line on the inset edge to the east, as well as the elevated nature of the land, create greater distinction from urbanising uses and contributes to the land's role in preventing sprawl.

GM51-3

- Purpose 2 - Prevent neighbouring towns merging into one another

Rating: Relatively Limited

Releasing this sub-area would project the urban edge westwards and reduce the gap between the towns of Atherton, Hindley and Westhoughton, where the tree cover along the unnamed brook and the B5235 Schofield Lane would remain as separating features. However, the sub-area is more closely related to Atherton and the release would not extend that edge further west than adjacent development to the south. In addition, although Atherton and Westhoughton remain largely distinct, the towns of Atherton and Hindley are already linked to a degree by ribbon development along Smallbrook Lane.

- Purpose 3 - Assist in safeguarding the countryside from encroachment

Rating: Relatively Significant

This release would encroach on land which, due to the absence of urbanising development, is generally perceived as countryside and has a relatively strong relationship with open land to the west, a sense of openness heightened by its slightly elevated nature.

- Purpose 4 - Preserve the setting and special character of historic towns

Rating: Limited/No

Land is open but does not make a significant contribution to the setting of any historic town.

- Purpose 5 - To assist in urban regeneration by encouraging the recycling of derelict and other urban land

Rating: Equal contribution

All Green Belt land is considered to make an equal contribution to this purpose.

GM51-3

Impact on adjacent Green Belt

Rating: No/Negligible

Release of the sub-area, as part of the release of the Allocation as a whole, would not significantly contain the stretch of retained Green Belt land currently lying between the towns of Atherton and Westhoughton. It would also result in no significant change in strength of distinction between the inset settlement and retained Green Belt land, which would now be defined by the B5235.

Overall harm to Green Belt purposes from release of land

Moderate

Release of the sub-area, as part of the release of the Allocation as a whole, would constitute relatively significant sprawl and encroachment on the countryside, and a relatively limited impact on preventing the merger of towns. It would constitute a negligible weakening of retained Green Belt land. Harm from the release of the sub-area is therefore assessed as moderate.